

IN THE MATTER OF THE APPLICATION OF
CAVES FARM INVESTMENT COMPANY FOR A
ZONING RECLASSIFICATION OF PROPERTY
LOCATED ON THE NORTHWEST SIDE OF CAVES
ROAD, 500' NORTHEAST OF BARONET ROAD
(NORTHEAST OF GARRISON FOREST ROAD)
FROM R.C. 2 TO R.C. 5
4TH ELECTION DISTRICT
3RD COUNCILMANIC DISTRICT

ORDER OF DISMISSAL

This matter comes before the Board as a Petition for Zoning Reclassification from R.C. 2 to R.C. 5 on property located on the northwest side of Caves Road, 500' northeast of Baronet Road, northeast of Garrison Forest Road in the Fourth Election District of Baltimore County.

WHEREAS, The Board of Appeals is in receipt of a letter of withdrawal of Petition filed March 9, 1990, (a copy of which is attached hereto and made a part hereof) from Charles B. Heyman, Esquire, Counsel for the Petitioner in the above-entitled case; and

WHEREAS, the said Charles B. Heyman, Esquire requests that the Petition for Zoning Reclassification filed by him be withdrawn as of March 9, 1990,

IT IS HEREBY ORDERED this 14th day of March, 1990 by the County Board of Appeals of Baltimore County that said Petition for Zoning Reclassification be and the same is hereby WITHDRAWN and DISMISSED.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY

William T. Hackett
William T. Hackett, Chairman

John A. Disney
John A. Disney

Michael B. Sauer
Michael B. Sauer

LAW OFFICES
KAPLAN, HEYMAN, GREENBERG, ENGELMAN & BELGRAD, P.A.
TENTH FLOOR SUN LIFE BUILDING
40 SOUTH CHARLES STREET
BALTIMORE, MARYLAND 21204
(301) 887-2188
TELEFAX
(301) 782-0665

March 9, 1990

The Honorable William T. Hackett, Chairman
County Board of Appeals
of Baltimore County
111 West Chesapeake Avenue, Room 315
Towson, Maryland 21204

HAND DELIVERED

RE: Petition for Zoning Reclassification
Case No. CR-90-171
NW/5 Caves Road, 500' NE of Baronet Road (NE of Garrison Forest Road) 4th Election District - 3rd Councilmanic
Legal Owner(s): Caves Farm Investment Company
Contract Purchaser(s): Garrison Forest Corporation
Petition to reclassify approximately 63.5 acres of Property from R.C. 2 to an R.C. 5 Zone

Gentlemen:

The above-entitled matter is scheduled for a hearing, beginning Wednesday, March 14, 1990, at 10:00 A.M. The undersigned, as attorney for the Petitioners hereby requests withdrawal of the Petition as presently filed.

A copy of this letter is being sent to other interested parties as set forth below, so that they will be aware of this withdrawal.

Very truly yours,

Charles B. Heyman
Charles B. Heyman

cc: Phyllis Friedman, People's Counsel
Peter Max Zimmerman, Deputy People's Counsel
Mr. David I. Fields, Director Planning & Zoning
J. Robert Haines, Zoning Commissioner
George Beall, Esquire, Hogan & Hartson
Garrison Forest Corporation
Caves Farm Corporation

IN THE MATTER OF THE APPLICATION OF CAVES FARM INVESTMENT COMPANY FOR A ZONING RECLASSIFICATION FROM R.C. 2 TO R.C. 5 ZONE NW/5 CAVES RD., 500' NE OF BARONET RD., 4TH ELECTION DISTRICT, 3RD COUNCILMANIC DISTRICT

SUBPOENA

Please issue a Subpoena to the following named witness to appear before the County Board of Appeals of Baltimore County at the hearing for the above-captioned matter on Wednesday, March 14, 1990, at 10:00 a.m., in Room 301, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204, and continuing thereafter as necessary for such witness' testimony and as scheduled by the Board.

WITNESS: John J. Dillon, Jr.
ADDRESS: Office of Planning & Zoning
4th Floor, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel
Room 304, County Office Bldg.
Towson, Maryland 21204
(301) 887-2188

The witness named above is hereby ordered to so appear before the County Board of Appeals. The Board requests the Sheriff to issue the summons set forth herein.

Cost: \$
Summoned: 19
Not served: 19
Sheriff of Baltimore County

IN THE MATTER OF THE APPLICATION OF CAVES FARM INVESTMENT COMPANY FOR A ZONING RECLASSIFICATION FROM R.C. 2 TO R.C. 5 ZONE NW/5 CAVES RD., 500' NE OF BARONET RD., 4TH ELECTION DISTRICT, 3RD COUNCILMANIC DISTRICT

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IN THE MATTER OF THE APPLICATION OF CAVES FARM INVESTMENT COMPANY FOR A ZONING RECLASSIFICATION FROM R.C. 2 TO R.C. 5 ZONE NW/5 CAVES RD., 500' NE OF BARONET RD., 4TH ELECTION DISTRICT, 3RD COUNCILMANIC DISTRICT

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WITNESS: Donald C. Outen
ADDRESS: Department of Environmental Protection and Resource Management
4th Floor, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel
Room 304, County Office Bldg.
Towson, Maryland 21204
(301) 887-2188

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Linda Kuzmaul
Linda Kuzmaul
County Board of Appeals
of Baltimore County

Cost: \$
Summoned: 19
Not served: 19

Sheriff of Baltimore County

John A. Disney
JOHN A. DISNEY
SHERIFF OF BALTO. CO., MD.

IN THE MATTER OF THE APPLICATION OF CAVES FARM INVESTMENT COMPANY FOR A ZONING RECLASSIFICATION FROM R.C. 2 TO R.C. 5 ZONE NW/5 CAVES RD., 500' NE OF BARONET RD., 4TH ELECTION DISTRICT, 3RD COUNCILMANIC DISTRICT

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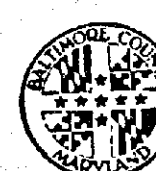
Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel
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Linda Kuzmaul
Linda Kuzmaul
County Board of Appeals
of Baltimore County

Cost: \$
Summoned: 19
Not served: 19

Sheriff of Baltimore County



County Board of Appeals of Baltimore County
COUNTY OFFICE BUILDING, ROOM 315
111 W. CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204
(301) 887-3180

March 12, 1990

Charles B. Heyman, Esquire
KAPLAN, HEYMAN, GREENBERG, ENGELMAN & BELGRAD, P.A.
Tenth Floor - Sun Life Building
20 S. Charles Street
Baltimore, MD 21201

Re: Case No. CR-90-171
Caves Farm Investment Company

Dear Mr. Heyman:

As a follow-up to my conversation with your secretary on March 9 and pursuant to your correspondence of March 9 regarding the subject matter, it is our understanding that it is your intention to withdraw and dismiss the Petition for Reclassification filed in Case No. CR-90-171.

Therefore, in accordance with your request for withdrawal of petition, this Board will withdraw the subject petition and remove the scheduled hearing of March 14, 1990 from the Board's docket. In addition, an Order for Dismissal will be issued by the Board in the near future.

Sincerely,

Kathleen C. Weidenhammer
Kathleen C. Weidenhammer
Administrative Assistant

cc: Phyllis C. Friedman, Esquire
Peter Max Zimmerman, Esquire
George Beall, Esquire

IN THE MATTER OF THE APPLICATION OF CAVES FARM INVESTMENT COMPANY FOR A ZONING RECLASSIFICATION FROM R.C. 2 TO R.C. 5 ZONE NW/5 CAVES RD., 500' NE OF BARONET RD., 4TH ELECTION DISTRICT, 3RD COUNCILMANIC DISTRICT

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Linda Kuzmaul
County Board of Appeals
of Baltimore County

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BALTIMORE COUNTY, MARYLAND

PUBLIC NOTICE

RECLASSIFICATION AND REDISTRICTING PETITIONS ACCEPTED FOR
FILING BY BALTIMORE COUNTY BOARD OF APPEALS FOR THE OCTOBER, 1989 —
APRIL, 1990 ZONING RECLASSIFICATION CYCLE II

WESTERN SECTOR

1. Property Owner: Parkway 146 Ventures
Case No./Hearing Date: R-50-172, March 7, 1990
Contract Purchaser: —
Location: 650 Red Run Boulevard, 2.041 E.
Countryside Drive, 146 (10375 Red Run Blvd.)
Existing Zoning: R-4 — C-1
Election District: 4th
Countryside District: 3rd
Acres: 1.891
Proposed Zoning: B.M. — C.S.A.

NORTHERN SECTOR

2. Property Owner: Carver Farm Investment Company
Case No./Hearing Date: C-50-171, March 14, 1990
Contract Purchaser: Garrison Forest Corporation
Location: 1105 Carver Road, 500' NE of Barnwood Road
(NE of Landon Forest Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 63.50
Proposed Zoning: R.C. — S

3. Property Owner: Thomas J. & Friends Z. Graziano
Case No./Hearing Date: R-50-172, March 21, 1990
Contract Purchaser: —
Location: 1105 Carver Road, 2,320' NE of Barnwood Rd.
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 8.85
Proposed Zoning: R.C. — S

CENTRAL SECTOR

4. Property Owner: Dickson Howard Goodman
Case No./Hearing Date: R-50-172, March 27, 1990
Contract Purchaser: —
Location: 1415 S. Thompson Rd.
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 60.40
Proposed Zoning: R.C. — S

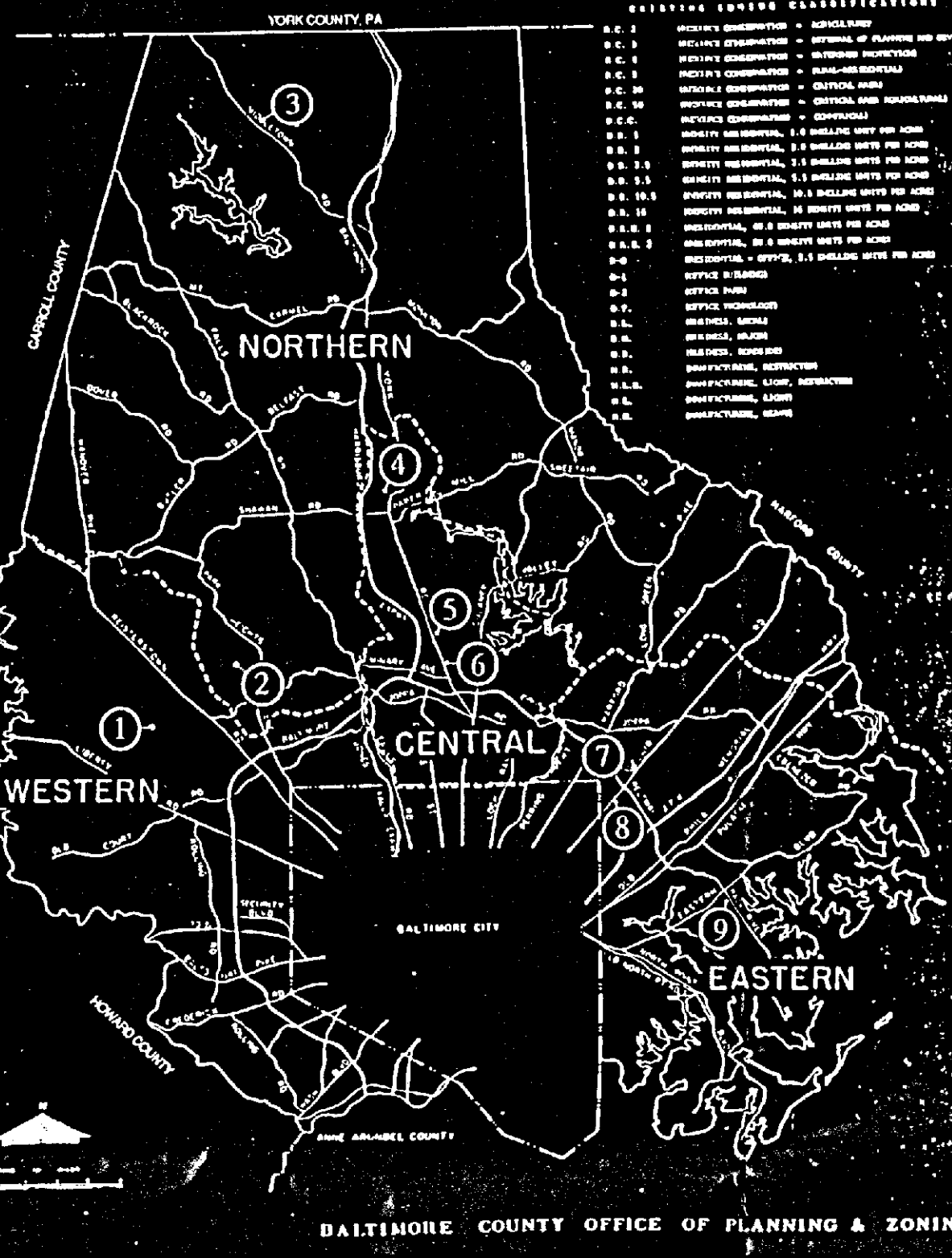
5. Property Owner: Fink L. Daugherty, et al.
Case No./Hearing Date: R-50-174, April 4, 1990
Location: 1415 S. Thompson Rd., 185.2' E of centerline
of York Rd. (42 Cedar Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 8.79
Proposed Zoning: R.C. — S

6. Property Owner: George P. Kasperbauer
Case No./Hearing Date: R-50-174, April 10, 1990
Contract Purchaser: —
Location: 1415 S. Thompson Rd. & Washington Rd.
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 6.18
Proposed Zoning: R.C. — S

EASTERN SECTOR

7. Property Owner: The L.L. Partnership
Case No./Hearing Date: R-50-176, April 18, 1990
Contract Purchaser: —
Location: 1105 Carver Road, 447' NE of centerline of
Pony Hill Rd. (Pony Hill Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 20.20
Proposed Zoning: R.C. — S

LOCATIONS OF PROPERTIES UNDER PETITION



8. Property Owner: Charles C. & Andrea Dwyer
Case No./Hearing Date: R-50-177, April 14, 1990
Contract Purchaser: Task Force Group Limited
Location: 1105 Carver Road, 600' NE of centerline of
Landon Forest Road
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 6.18
Proposed Zoning: R.C. — S

9. Property Owner: George J. Guterberger, et al.
Case No./Hearing Date: R-50-178, May 2, 1990
Contract Purchaser: —
Location: 1105 Carver Road, 447' NE of centerline of
Pony Hill Rd. (Pony Hill Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 20.20
Proposed Zoning: R.C. — S

LISTINGS OF PETITIONS: Numbers in the listings are keyed to the map above

BY ORDER OF
WILLIAM HACKETT,
CHAIRMAN, COUNTY BOARD OF APPEALS
FOR BALTIMORE COUNTY AND
P. DAVID FIELDS
DIRECTOR OF PLANNING AND ZONING

November 1, 1989 THE NORTHEAST TIMES REPORTER Page 29

BALTIMORE COUNTY, MARYLAND

PUBLIC NOTICE

RECLASSIFICATION AND REDISTRICTING PETITIONS ACCEPTED
FOR FILING BY BALTIMORE COUNTY BOARD OF APPEALS FOR THE APRIL, 1989 —
OCTOBER, 1989 ZONING RECLASSIFICATION CYCLE I

WESTERN SECTOR

1. Property Owner: Palatine Hill Ventures
Case No./Hearing Date: R-50-172, March 7, 1990
Contract Purchaser: —
Location: 650 Red Run Boulevard, 2.041 E.
Countryside Drive, 146 (10375 Red Run Blvd.)
Existing Zoning: R-4 — C-1
Election District: 4th
Countryside District: 3rd
Acres: 1.891
Proposed Zoning: B.M. — C.S.A.

NORTHERN SECTOR

2. Property Owner: Carver Farm Investment Company
Case No./Hearing Date: C-50-171, March 14, 1990
Contract Purchaser: Garrison Forest Corporation
Location: 1105 Carver Road, 500' NE of Barnwood Road
(NE of Landon Forest Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 63.50
Proposed Zoning: R.C. — S

3. Property Owner: Thomas J. & Friends Z. Graziano
Case No./Hearing Date: R-50-172, March 21, 1990
Contract Purchaser: —
Location: 1105 Carver Road, 2,320' NE of Barnwood Rd.
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 8.85
Proposed Zoning: R.C. — S

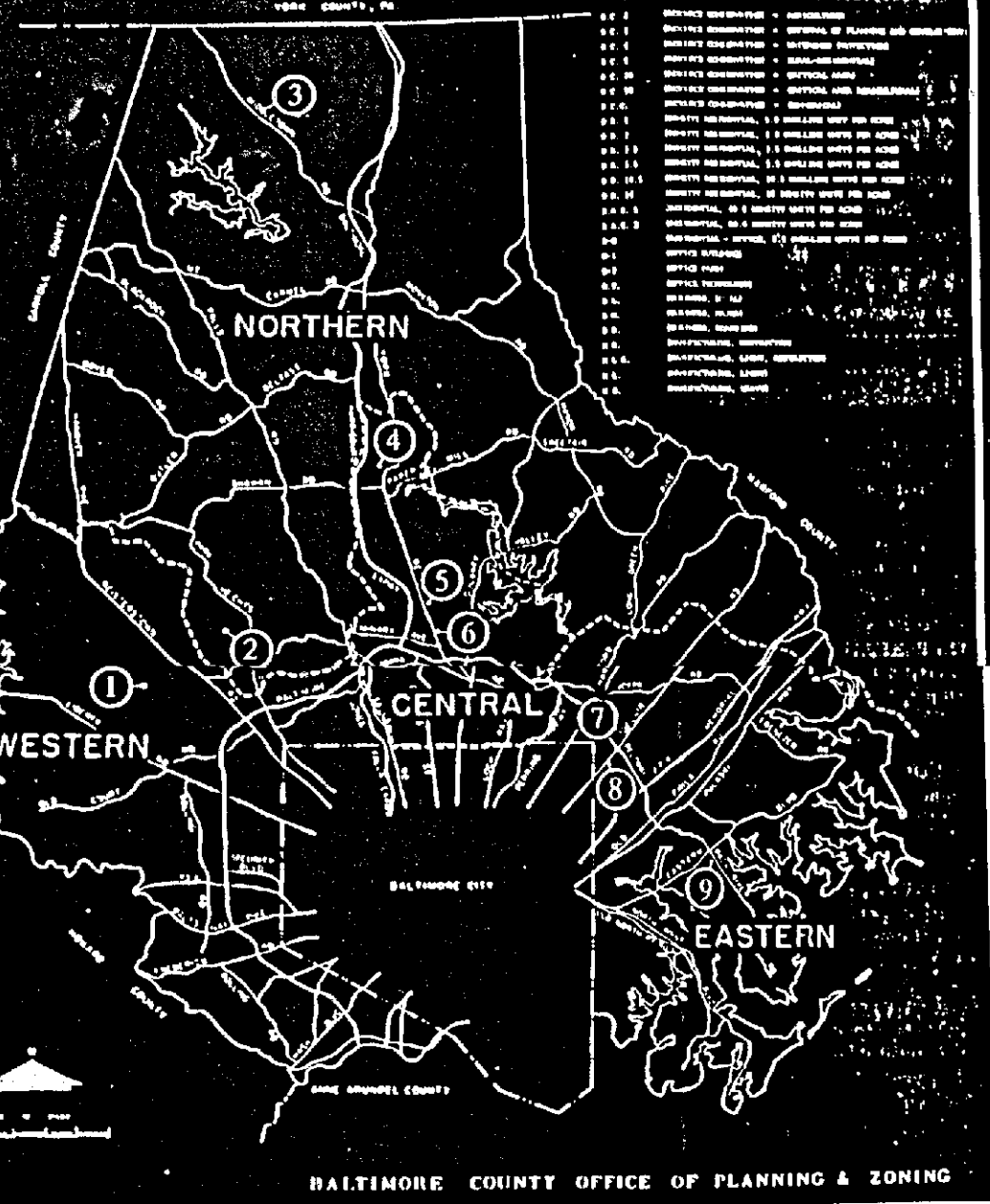
CENTRAL SECTOR

4. Property Owner: Dickson Howard Goodman
Case No./Hearing Date: R-50-172, March 27, 1990
Contract Purchaser: —
Location: 1415 S. Thompson Rd.
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 60.40
Proposed Zoning: R.C. — S

5. Property Owner: Fink L. Daugherty, et al.
Case No./Hearing Date: R-50-174, April 4, 1990
Location: 1415 S. Thompson Rd., 185.2' E of centerline
of York Rd. (42 Cedar Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 8.79
Proposed Zoning: R.C. — S

6. Property Owner: George P. Kasperbauer
Case No./Hearing Date: R-50-174, April 10, 1990
Contract Purchaser: —
Location: 1415 S. Thompson Rd. & Washington Rd.
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 6.18
Proposed Zoning: R.C. — S

LOCATIONS OF PROPERTIES UNDER PETITION



SOUTHERN SECTOR

7. Property Owner: The L.L. Partnership
Case No./Hearing Date: R-50-176, April 18, 1990
Contract Purchaser: —
Location: 1105 Carver Road, 447' NE of centerline of
Pony Hill Rd. (Pony Hill Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 20.20
Proposed Zoning: R.C. — S

8. Property Owner: Charles C. & Andrea Dwyer
Case No./Hearing Date: R-50-177, April 14, 1990
Contract Purchaser: Task Force Group Limited
Location: 1105 Carver Road, 600' NE of centerline of
Landon Forest Road
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 6.18
Proposed Zoning: R.C. — S

9. Property Owner: George J. Guterberger, et al.
Case No./Hearing Date: R-50-178, May 2, 1990
Contract Purchaser: —
Location: 1105 Carver Road, 447' NE of centerline of
Pony Hill Rd. (Pony Hill Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 20.20
Proposed Zoning: R.C. — S

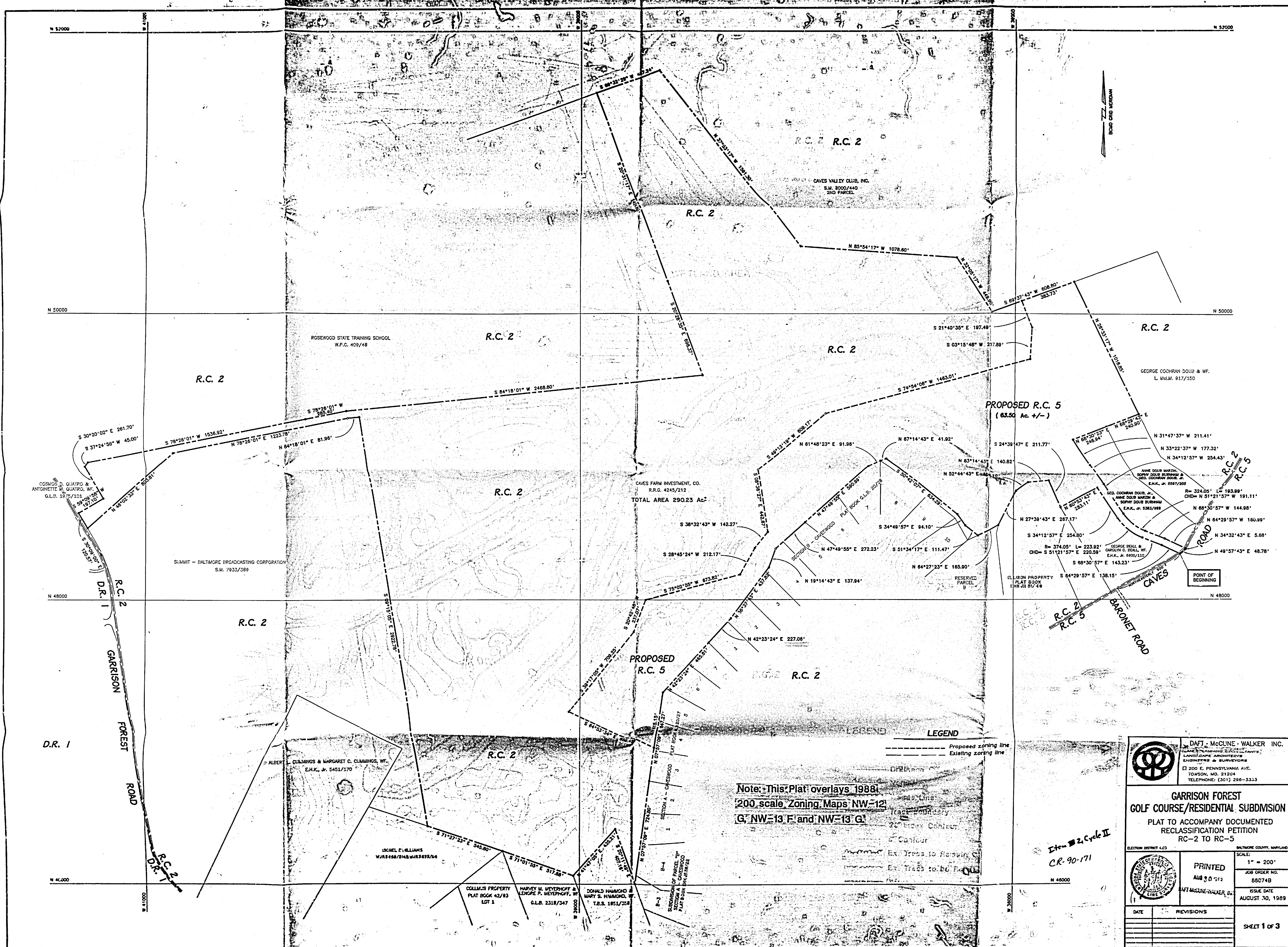
10. Property Owner: The L.L. Partnership
Case No./Hearing Date: R-50-176, April 18, 1990
Contract Purchaser: —
Location: 1105 Carver Road, 447' NE of centerline of
Pony Hill Rd. (Pony Hill Road)
Existing Zoning: R.C. — S
Election District: 4th
Countryside District: 3rd
Acres: 20.20
Proposed Zoning: R.C. — S


LISTINGS OF PETITIONS: Numbers in the listings are keyed to the map above

BY ORDER OF
WILLIAM HACKETT,
CHAIRMAN, COUNTY BOARD OF APPEALS
FOR BALTIMORE COUNTY AND
P. DAVID FIELDS
DIRECTOR OF PLANNING AND ZONING

8 November, 1989 / Northwest Star & Page 43C, 1989

Copy of Ad ran in Northwest Star on 11-8-89.






DAFT, McCune, WALKER, INC.
PLANNING & ENGINEERING
LANDSCAPE ARCHITECTS
ENGINEERS & SURVEYORS
200 E. PENNSYLVANIA AVE.
TOWSON, MD. 21204
TELEPHONE: (301) 296-3333

**GARRISON FOREST
GOLF COURSE/RESIDENTIAL SUBDIVISION**

PLAT TO ACCOMPANY DOCUMENTED
RECLASSIFICATION PETITION
RC-2 TO RC-5

ELECTION DISTRICT 4,23 BALTIMORE COUNTY, MARYLAND



PRINTED
AUG 9 0 1989
DAFT, McCune, WALKER, INC.

SCALE:
1" = 200'
JOB ORDER NO.
68074B
ISSUE DATE
AUGUST 30, 1989

DATE	REVISIONS

SHEET 1 of 3

It- 2, Cycle II
CR- 90-171

BALTIMORE COUNTY, MARYLAND

PUBLIC NOTICE

RECLASSIFICATION AND REDISTRICTING PETITIONS ACCEPTED
FOR FILING BY BALTIMORE COUNTY BOARD OF APPEALS FOR THE APRIL, 1989
OCTOBER, 1989 ZONING RECLASSIFICATION CYCLE I

WESTERN SECTOR

- Property Owner: Painters Mill Venture
Case No./Hearing Date: CR-90-171; March 14, 1990
Contract Purchaser: Jack Seifin, Mgr. Part
Location: 8/8 Red Run Boulevard, 2.061' E of centerline of Red Run Blvd. (10375 Red Run Blvd.)
Existing Zoning: R.C.-2
Election District: 4th
Councilmanic District: 3rd
Acres: 1.8591
Proposed Zoning: R.M.-C.S.A.

NORTHERN SECTOR

- Property Owner: Caves Farm Investment Company
Case No./Hearing Date: CR-90-171; March 14, 1990
Contract Purchaser: Garrison Forest Corporation
Location: NW/4 Caves Road, 500' NE of Garrison Forest Road
Existing Zoning: R.C.-2
Election District: 4th
Councilmanic District: 3rd
Acres: 62.50
Proposed Zoning: R.C.-5

- Property Owner: Thomas J. & Freddie S. Graziano
Case No./Hearing Date: CR-90-171; March 21, 1990
Contract Purchaser: NW/8 Freedom Road, 2,320' NE of Middleton Road
Existing Zoning: R.C.-2
Election District: 4th
Councilmanic District: 3rd
Acres: 5.803
Proposed Zoning: R.C.-5

CENTRAL SECTOR

- Property Owner: Dickson Howard Goodman
Case No./Hearing Date: CR-90-171; March 27, 1990
Contract Purchaser: NE/8 Thornton Hill Road, 2,400' NW corner of York Rd.
Existing Zoning: R.C.-2
Election District: 4th
Councilmanic District: 3rd
Acres: 60.143
Proposed Zoning: R.C.-10.5

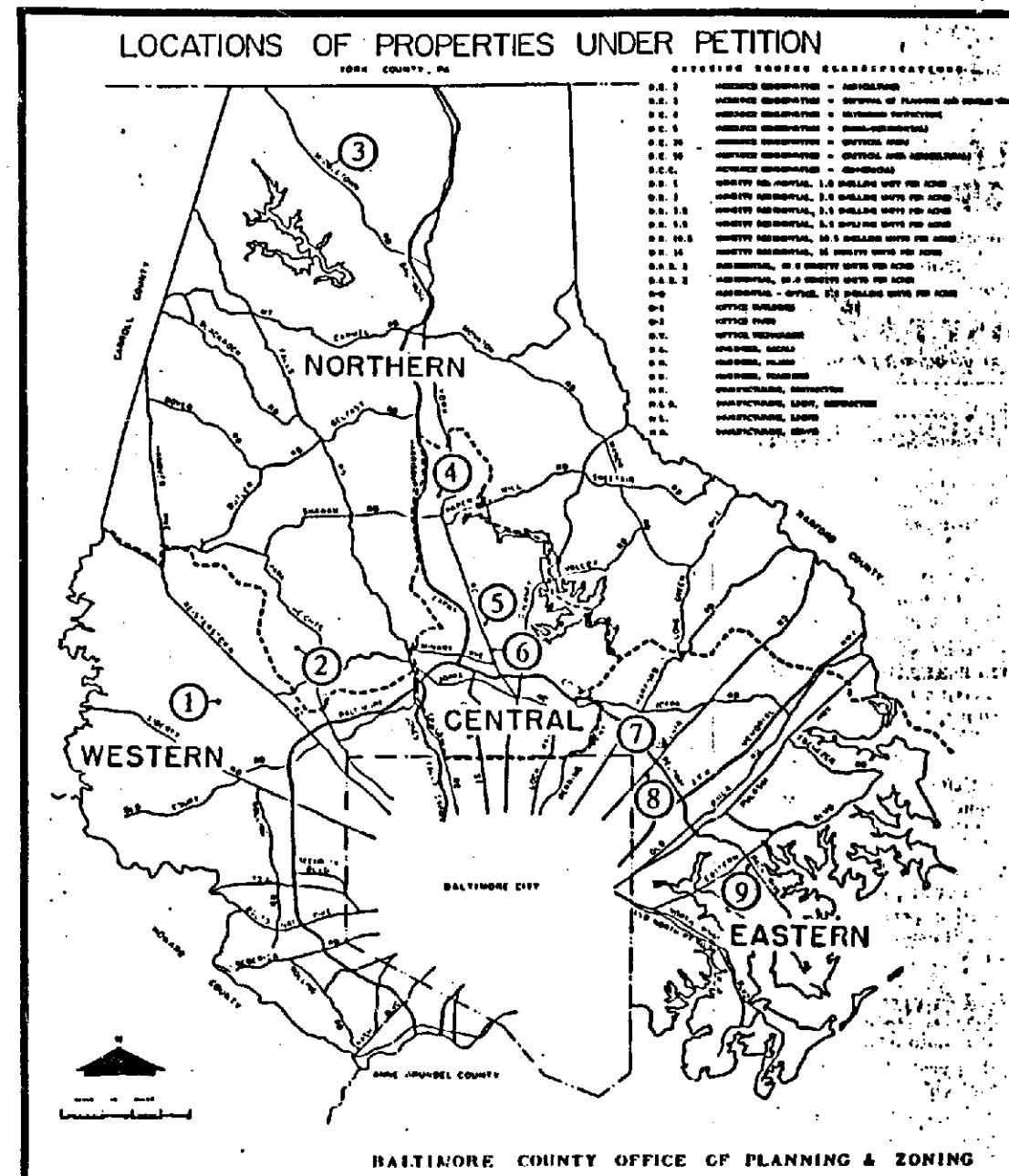
- Property Owner: Felix L. Doupellio, et ux
Case No./Hearing Date: CR-90-171; April 4, 1990
Contract Purchaser: NW/8 Cedar Road, 185.2' E of centerline of York Road
Existing Zoning: R.C.-5.5
Election District: 4th
Councilmanic District: 3rd
Acres: 0.228
Proposed Zoning: B.R. or B.L.

- Property Owner: George P. Karagorgos
Case No./Hearing Date: R-90-175; April 10, 1990
Contract Purchaser: SE/4 York Road & Haddington Rd.
Existing Zoning: R.C.
Election District: 4th
Councilmanic District: 3rd
Acres: 0.198
Proposed Zoning: B.L.

EASTERN SECTOR

- Property Owner: Ida Ltd. Partnership
Case No./Hearing Date: R-90-175; April 10, 1990
Contract Purchaser: NW/8 Cedar Road, 185.2' E of centerline of York Road
Existing Zoning: R.C.-5.5
Election District: 4th
Councilmanic District: 3rd
Acres: 0.228
Proposed Zoning: B.R. or B.L.

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8 November, 1989 / Northwest Star & Page 19C

MICROFILMED

BALTIMORE COUNTY, MARYLAND

PUBLIC NOTICE

RECLASSIFICATION AND REDISTRICTING PETITIONS ACCEPTED FOR
FILING BY BALTIMORE COUNTY BOARD OF APPEALS FOR THE OCTOBER, 1989 —
APRIL, 1990 ZONING RECLASSIFICATION CYCLE II

WESTERN SECTOR

- Property Owner: Painters Mill Venture
Case No./Hearing Date: CR-90-171; March 7, 1990
Contract Purchaser: Jack Seifin, Mgr. Part
Location: 8/8 Red Run Boulevard, 2.061' E of centerline of Red Run Blvd. (10375 Red Run Blvd.)
Existing Zoning: R.M. — C.T.
Election District: 4th
Councilmanic District: 3rd
Acres: 1.8591
Proposed Zoning: R.M. — C.S.A.

NORTHERN SECTOR

- Property Owner: Caves Farm Investment Company
Case No./Hearing Date: CR-90-171; March 14, 1990
Contract Purchaser: Garrison Forest Corporation
Location: NW/8 Caves Road, 500' NE of Garrison Forest Road
Existing Zoning: R.C. — 2
Election District: 4th
Councilmanic District: 3rd
Acres: 62.50
Proposed Zoning: R.C. — 5
- Property Owner: Thomas J. & Freddie S. Graziano
Case No./Hearing Date: CR-90-171; March 21, 1990
Contract Purchaser: NW/8 Freedom Rd. 2,320' NE of Middleton Rd.
Existing Zoning: R.C. — 2
Election District: 4th
Councilmanic District: 3rd
Acres: 5.803
Proposed Zoning: R.C. — 5

CENTRAL SECTOR

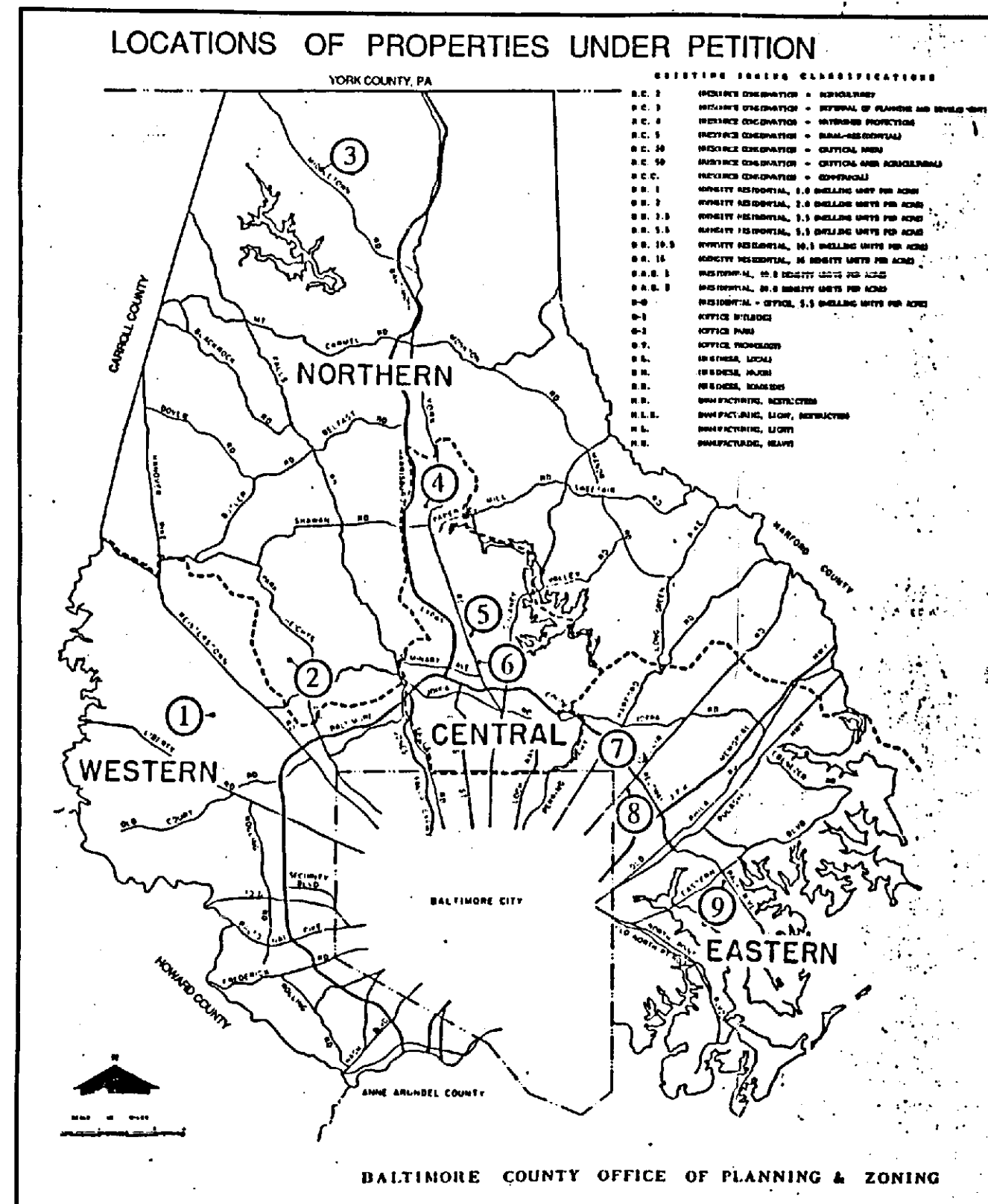
- Property Owner: Dickson Howard Goodman
Case No./Hearing Date: R-90-175; March 27, 1990
Contract Purchaser: NE/8 Thornton Hill Road, 2,400' NW corner of York Rd.
Existing Zoning: R.C. — 4
Election District: 4th
Councilmanic District: 3rd
Acres: 60.143
Proposed Zoning: D.R. — 10.5

- Property Owner: Felix L. Doupellio, et ux
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Contract Purchaser: NW/8 Cedar Road, 185.2' E of centerline of York Rd. (42 Cedar Road)
Existing Zoning: D.R. — 5.5
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Contract Purchaser: NW/8 Cedar Road, 185.2' E of centerline of York Road
Existing Zoning: D.R. — 5.5
Election District: 4th
Councilmanic District: 3rd
Acres: 0.228
Proposed Zoning: B.R.
- Property Owner: George J. Gutterberger, et ux
Case No./Hearing Date: R-90-175; May 2, 1990
Contract Purchaser: NW/8 Cedar Road, 185.2' E of centerline of York Rd. (42 Cedar Road)
Existing Zoning: D.R. — 16
Election District: 4th
Councilmanic District: 3rd
Acres: 0.21
Proposed Zoning: B.R.



LISTINGS OF PETITIONS: Numbers in the listings are keyed to the map above

BY ORDER OF
WILLIAM HACKETT,
CHAIRMAN, COUNTY BOARD OF APPEALS
FOR BALTIMORE COUNTY AND
P. DAVID FIELDS
DIRECTOR OF PLANNING AND ZONING

November 1, 1989 THE NORTHEAST TIMES REPORTER Page 39

Copy of Ad ran in NE Times Reporter/Booster on 11-2-89.

MICROFILMED



DMW ENVIRONMENTAL SERVICES, INC.

GARRISON FOREST GOLF CLUB

REZONING REQUEST

ENVIRONMENTAL IMPACT STATEMENT



420 Virginia Avenue • Towson, Maryland 21204 • (301) 296-5220 • Fax (301) 296-4705

GARRISON FOREST GOLF CLUB
REZONING REQUEST
ENVIRONMENTAL IMPACT STATEMENT

Project Description

The Garrison Forest Golf Club proposes to develop 20 homesites on 63.5 acres of land in conjunction with the creation of an 18-hole golf course on a 290-acre site in the southwestern part of Caves Valley, in Baltimore County, Maryland.

The homesites, each a minimum of two acres, are located along the southern part of Caves Valley, just below the Caveswood subdivision. Access to this area is to be from Caves Road.

An Evaluation of the Effects of the Proposed Action on the Environment

Any part of the proposed residential development that might adversely affect the environmental setting and natural resource base within this geographic area must be recognized, and minimized or avoided. Areas of concern have been identified and are listed below. Potential adverse effects have been addressed, along with proposed and/or anticipated mitigating measures. The areas identified are as follows:

Stream/wetland disturbance
Water usage/sewage disposal
Forest removal
Air Quality/Noise
Loss of wildlife habitat
Traffic

Stream/Wetland Disturbance

Non-point source pollutants from runoff, point source pollutants from septic disposal areas, sediment delivery to streams, thermal pollution as a result of forest removal, and loss of stream and wetland habitat through drainage or fill activities can adversely affect stream and wetland systems. For this project, any adverse effects will be minimized, or avoided, through site design considerations in the planning stages of this residential subdivision; appropriate sediment and erosion control implementation; and post-construction stabilization.

coliforms, fecal coliforms and fecal streptococci from septic tank effluent" (Salvato, 1982). On-site disposal systems also serve to recharge local groundwater, which is important in an area dependent on wells for drinking water.

As an alternative to on-site sewage disposal systems, a community packaged wastewater treatment plant and collection system may be considered. Such a wastewater treatment plant would be permitted and monitored by the State, and would require a certified operator to operate and maintain the facility. For such a system effluent quality must meet predetermined levels of pollutant removal, and discharge of the treated effluent and management of the sludge must be properly addressed.

A package wastewater treatment plant, with a collection system serving 20 homes costs about \$300,000. This is significantly higher than the cost of \$100,000 (20 homes at \$5,000 each) to install on-site sewage disposal systems for these homes. A treatment system to purify the water for disposal by irrigation is estimated at \$300,000 to \$600,000. In addition, staffing and maintenance costs for a treatment plant would be approximately \$83,000 annually. Based on the relative cost-effectiveness of these two methods and on the cited discharge issues, on-site systems are considered the preferred alternative.

In addition to these cost considerations, it is the stated policy of Baltimore County not to encourage private community wastewater treatment facilities. An amendment to the Water Supply and Sewerage Plan also would be required to authorize the community system.

Forest Removal

Individual trees and groups of trees are primarily found within the hedgerows that separate the agricultural fields on the project site. There is a more contiguous forest along the southern property boundary. Also, large clusters of trees surround the existing buildings on this property. Given these conditions there will not be extensive forest removal for this proposed development.

Loss of Wildlife Habitat

The construction phase of this proposed residential development will temporarily disrupt the existing patterns of wildlife in the area. The removal of herbaceous vegetation, trees, and shrubs within the hedgerow areas will dislocate some animal species to adjacent wooded areas. Noise from construction equipment may temporarily disturb wildlife as well.

A small stream, and wetland areas associated with its base flow, have been identified on this property. This stream, an unnamed tributary of the North Branch of Jones Falls, is a first order Class III trout stream. The Maryland Department of Natural Resources (DNR) and Trout Unlimited consider the North Branch of Jones Falls among one of the best trout stream systems in the state.

Site design considerations

Stream buffers and setbacks have been established in the proposed development area in accordance with Baltimore County's Regulations for the Protection of Water Quality, Streams, Wetlands and Floodplains. These regulations establish a Forest Buffer Easement based on the greatest of the following: 100 feet from the centerline of the stream; 25 feet from the outer wetland boundary; or 25 feet from the 100-year floodplain reservation or easement boundary. This Forest Buffer also takes into account average slopes equal to or greater than 1% within 150 feet of the stream. A setback of 35 feet from the outer edge of the Forest Buffer is also required for the primary or principal structure on a lot.

No clearing, grading, construction or disturbance of vegetation is to occur in the Forest Buffer Easement except in the area of two minor road crossings. Federal and State permits for these crossings must be obtained. Determination of the amount of disturbance and a methodology for stabilization and replacement of lost wetland habitat may also be required. It is estimated that the total area of disturbance will be less than 0.5 AC. In accordance with State regulations, the installation of road crossings for Class III streams cannot occur from October 1 through April 30.

Sediment control - construction phase

The construction phase of the proposed development constitutes the most critical time during which erosion and subsequent sediment delivery to water courses might occur. Clearing and grading expose surface soils to erosion, and heavy rainfalls can transport these soils to adjacent waterways unless proper controls are implemented and maintained. The use of multiple barriers to prevent transport from construction areas is proposed. Proper installation of these barriers will be required and frequent inspection and repair of all sediment control measures will be undertaken during the construction phase, and until stabilization and revegetation is established. Inspections will occur as often as necessary during both building lot development and individual home construction.

The long-term effects of the proposed residential development on wildlife habitat should be minimal since a large part of this area is presently under agricultural activity, and habitat is limited. Species which are in the area will utilize the edges of woods and the surrounding acreage set aside as part of the Forested Buffer Easement. With the exception of the two minor road crossings, the wildlife corridors around the stream and bordering wetland will remain undisturbed.

To protect the high quality cold water fishery in streams on the property, installation of all road crossings will be done in accordance with time of year restrictions. Crossings will be designed to assure no impediment to the movement of fish and to provide a natural stream bed beneath the crossing structures.

Air quality and Noise

Probable adverse impacts to air quality from the proposed action will be limited to potential fugitive dust during construction, automobile emissions from vehicles used by the residents, other vehicles servicing the residences, and emissions from home heating units.

State and County laws and regulations require contractors to control fugitive dust during construction by spraying water on bare soil surfaces to prevent soil particles from becoming airborne (COMAR 26.11.06.03D, Particulate Matter from Materials Handling and Construction). This will be more important during roadway construction than during house construction. Not all homesites will be under construction at the same time, which will minimize soil exposure. This air quality concern is removed as soon as the construction sites are stabilized and revegetated.

The anticipated number of vehicles for the 20 homes is no less than 40. All vehicles in Baltimore County built after 1972 are required to have an annual vehicle emissions inspection and to be maintained to keep levels of hydrocarbons and carbon monoxide below standards established by state regulation (COMAR 26.11.20.03, Motor Vehicle Emission Standards).

Emissions from home heating units are not expected to have any significant adverse impacts to air quality. Based on the cumulative effect of these sources of air pollution, this 20 lot development will not result in any significant air quality problems.

"Noise pollution" is recognized by Federal, State and local agencies as an environmental impact with public health implications and which requires regulatory controls. The construction phase of the housing development may result in some noise impacts. State regulation (COMAR 26.02.03, Environmental Noise Standards) addresses this concern. This regulation states

Also, discharge from sediment control basins will be directed through vegetated areas before entering any stream channel or watercourse. This practice diminishes the possibility of thermal pollution, and allows for the entrapment of sediments.

Post-construction phase

Once the homesites and roadways are constructed, the maintenance of grass swales, vegetated buffer strips, and other best management practices will be ensured by a set of protective covenants recorded prior to the sale of homesites. These covenants will inform the homeowner of protected areas, and establish requirements committing the homeowner to best management practices regarding maintenance, landscaping, drainage, and maximum areas of allowable site disturbance.

Water Usage/Sewage Disposal

The proposed 20 homesites will be served by individual wells and on-site sewage disposal systems. An alternative would be to provide public water and/or sewage services. However, this proposed development is located in an area of no planned service. This alternative is, therefore, not feasible.

Wells and water usage

All proposed homesites are located in a transition area between the Caves Valley floor and the valley wall. The valley floor is underlain by Cockeysville marble, an important and excellent water-bearing rock. The valley walls are underlain by the Wissahickon Formation, a mica schist which is a much less productive formation for supplying drinking water supplies.

State regulation requires a minimum of one gallon per minute, or 1,440 gallons per day (gpd) for residential wells. The average household usage rate for Baltimore County is 205.6 gpd. Using the Baltimore County average, the 20 homes will collectively utilize 4112 gpd. The acreage included for the proposed residential development is 63.5 acres. A recharge of 900 gallons per acre per day has been estimated for the Baltimore County area (MDS Bulletin 17, Dingman, Ferguson and Martin, 1946). Comparing this figure with the estimated daily residential withdrawal rate, the water usage for this development will not affect the long-term productivity of the groundwater resource, nor will it curtail the beneficial use of this resource.

that noise from construction activities may not exceed 90 dBA during daytime hours and 55 dBA at night. "dBA" is a measure of noise in decibels. For comparison, 60 dBA is the noise level of loud conversational speech; 80 dBA is the noise equivalent of a heavy truck passing by at 100 feet; and 100 dBA is the noise level encountered in a boiler room (National Environmental Health Association).

Traffic

Access to the 20 proposed homesites within the RC-5 documented plan area will be provided by means of an access road from Caves Road. The homes will generate an average daily traffic of 248 trips per day (12.4 trips/lot/day) with a peak hour flow of 28 trips. Neither the average daily traffic flow nor the peak hour flow is expected to have a major impact on Caves Road.

The "No-Build" Option

The no-build option would avoid all adverse environmental impacts which might result from the construction of the proposed residential development at the requested density. However, the proposed twenty residential lots, in conjunction with the offering the balance of the site as a golf course, would restrict any additional development. Establishment of a perpetual conservation easement on the total property, together with self-imposed restrictions, assures no additional development. The developer's proposal to develop 20 individual residential lots at minimum two acre size is the subject of a pending rezoning reclassification petition and documented site plan.

As an alternative to individual wells, a community water supply system could provide water for the 20 homesites. Such a system assures a safe, potable supply of water. The water supply must meet Safe Drinking Water Act Standards, and must be periodically tested for the presence of bacteria, nitrates, and certain volatile organic chemicals. Installation of a community system would entail drilling one or more wells and providing a treatment and distribution system from a centralized water supply.

A package treatment plant to serve the 20 homes is estimated at \$500,000. Annual operating and maintenance costs are estimated at \$100,000. This is a cost not incurred if individual wells are constructed. Based on the relative cost-effectiveness of these two methods, individual wells are considered the preferred alternative.

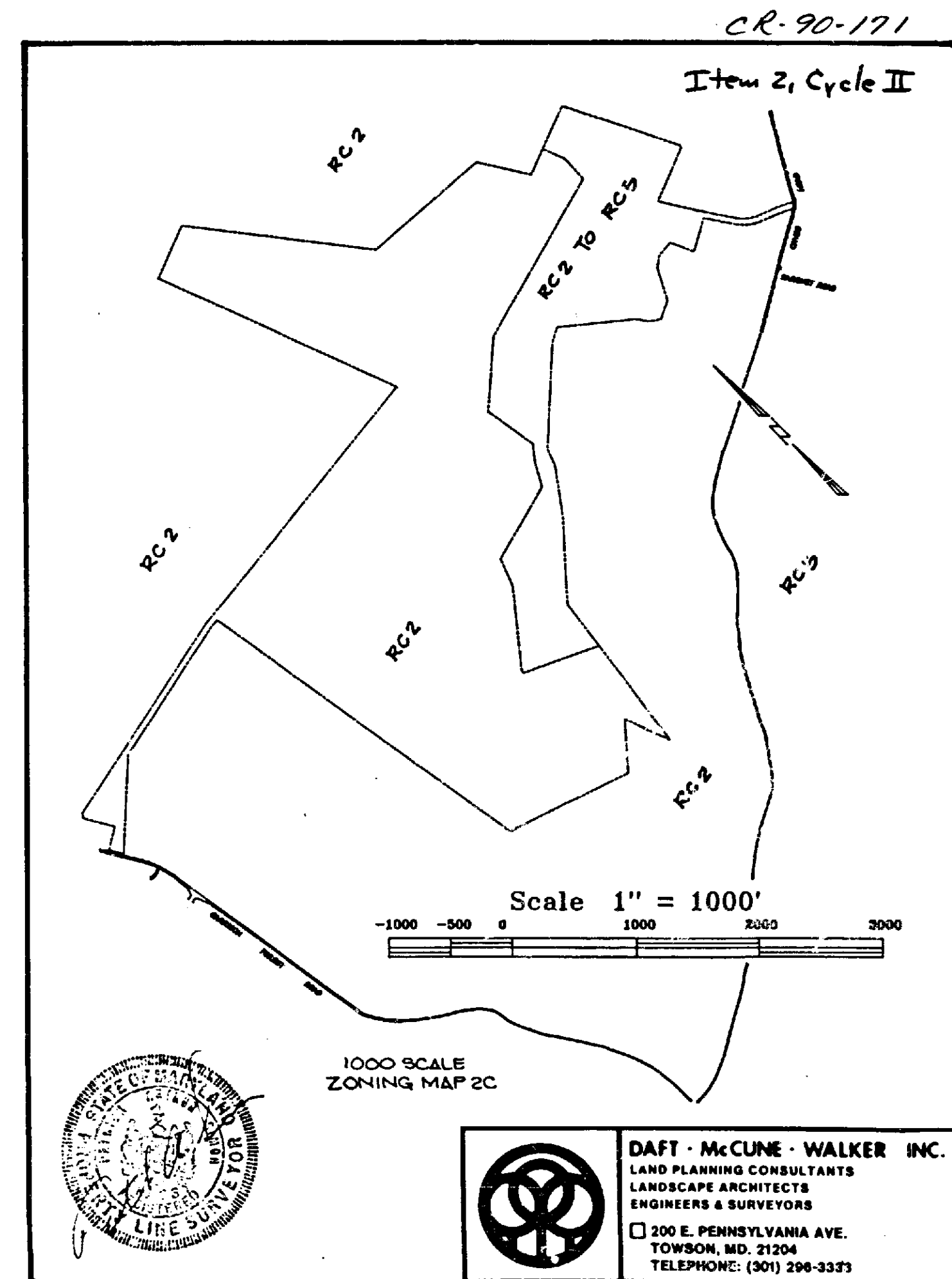
Revisions to the Water Supply and Sewerage Plan for Baltimore County would be required to facilitate a community system. Such revisions for residential use are currently not favored by the Department of Environmental Protection and Resource Management.

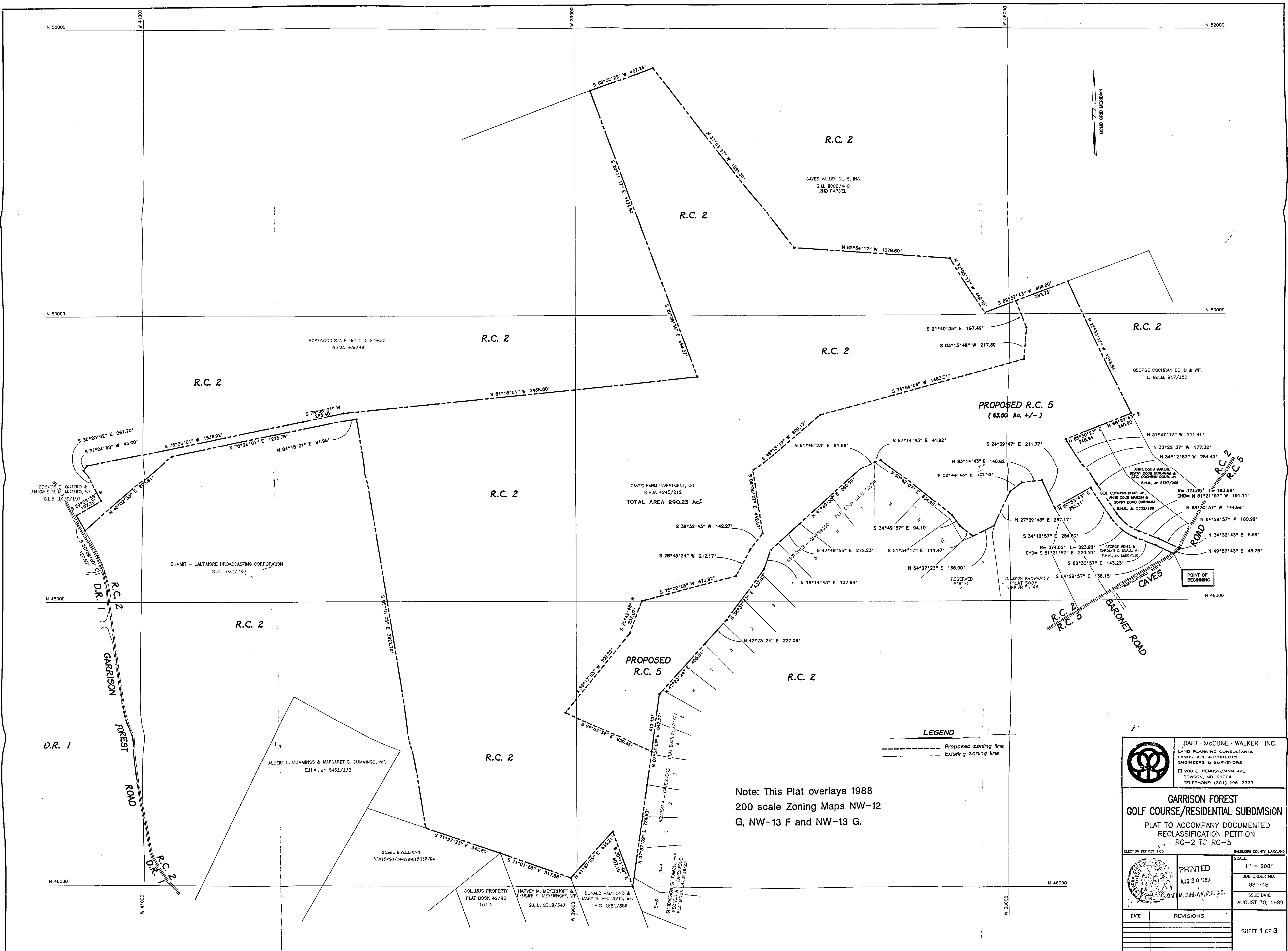
On-site sewage disposal systems

Location of the homesites on the Wissahickon Formation avoids the potentially adverse environmental effects of wastewater effluent reaching the Cockeysville marble aquifer. This action is in conformance with the Baltimore County Master Plan, 1979-1990, Element 1, adopted November 19, 1979, which recommends that development in rural and agricultural areas should be located "on lands other than those underlain by the Cockeysville marble aquifer". Schist typically weathers to soil materials which are quite suitable for the installation of on-site sewage disposal systems.

Proper siting of the on-site sewage disposal systems is assured by County percolation testing and plan approval. County staff trained in soil sciences and environmental health, field-test soils in the designated disposal area and specify system design. In addition, the septic reserve area is large enough to construct two replacement disposal systems should the first begin to malfunction.


Many studies have been performed on the effectiveness of on-site sewage disposal systems in the interception and removal of household wastewater (see for example, Salvato, J.A., Environmental Engineering and Sanitation, Third Edition, 1982). These studies show that, with proper siting and installation and proper maintenance and use by the homeowner, these systems provide effective removal of total dissolved solids, biological oxygen demand, soluble organic carbon, ammonia nitrogen, iron,





Note: This Plat overlays 1988
200 scale Zoning Maps NW-12
G, NW-13 F and NW-13 G.


LEGEND
- - - - - Proposed zoning line
_____ Existing zoning line



DAFT · McCUNE · WALKER · INC.
LAND PLANNING CONSULTANTS
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**GARRISON FOREST
GOLF COURSE/RESIDENTIAL SUBDIVISION**
PLAT TO ACCOMPANY DOCUMENTED
RECLASSIFICATION PETITION
RC-2 TO RC-5

ELECTION DISTRICT 4C3



PRINTED
AUG 30 1989

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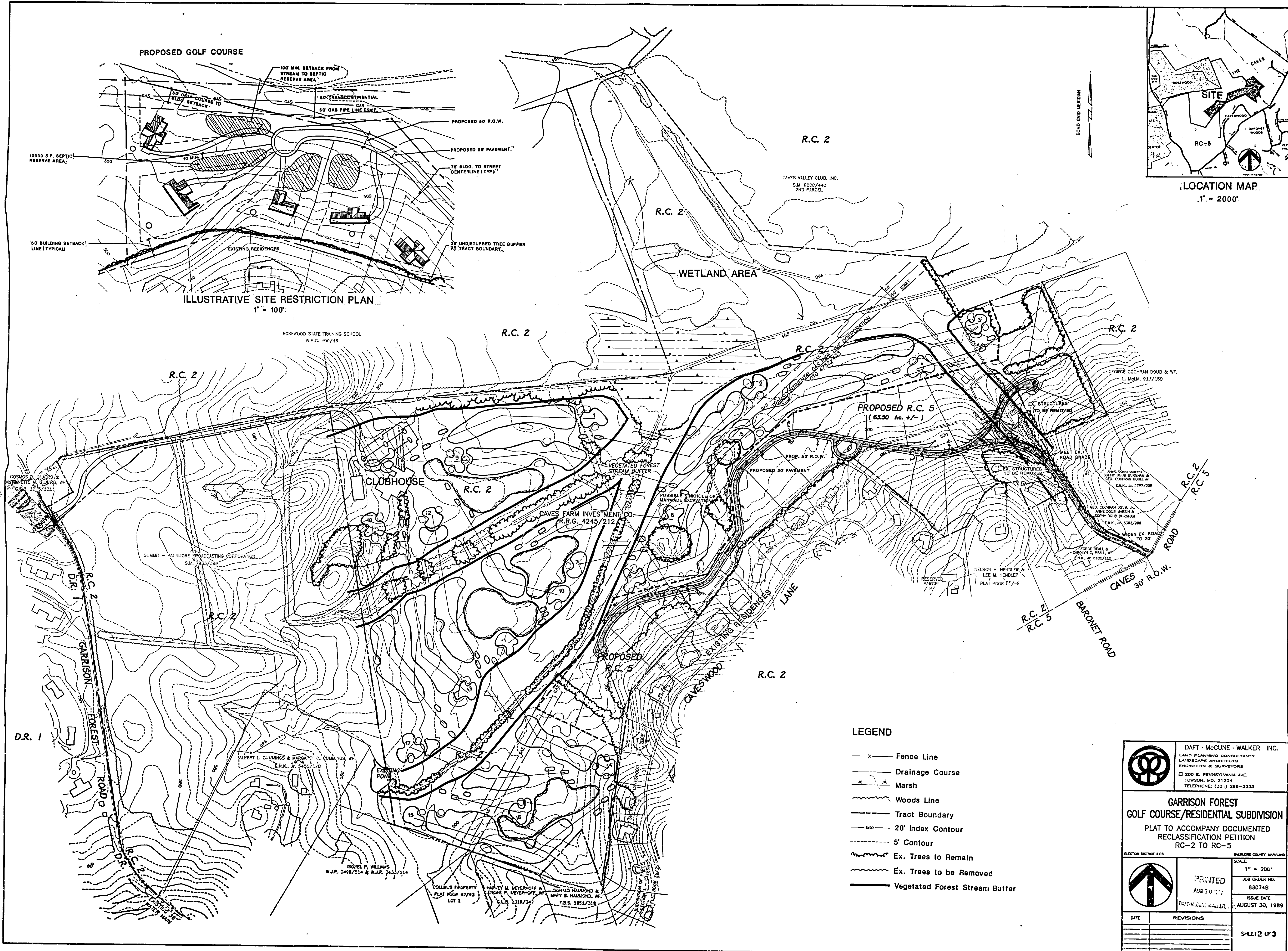
SCALE:
1" = 200'

JOB ORDER NO.
88074B

ISSUE DATE
AUGUST 30, 1989

DATE	REVISIONS

SHEET 1 of 3



1. Existing Zoning: RC-5
2. Requested Zoning: RC-5
3. Site Area:
RC-5 request 68.5 acres
Total Property 290.23 acres
4. Maximum number of principal residential lots to be on resumed acre shall be 20 as permitted by this RC-5 documented site plan (see general notes).
5. Fencing User:
Site is undeveloped and is in woodlands or agricultural usage.
6. Proposed Principal Uses:
a. Single family detached dwellings with customary and usual accessory structures and appurtenances subject to restrictions stated on documented site plan.
b. Residential activity will occur on a 24 hour basis.
7. Signs:
In accordance with provisions of Section 413.1, Baltimore County Zoning Regulations, signs shall be limited to:
a. Name and address of resident, not to exceed one square foot in area (Section 413.1a).
b. Directional and informational signs not exceeding 15 or 25 square feet each in total area and involving no advertising aspect (Sections 413.1c and 413.1d(3)).
c. Temporary real estate signs (Sections 413.1f).
d. Building contractor's and professional persons' temporary signs on buildings under construction. The total area for all such signs on each lot shall not exceed 150 square feet (Section 413.1g).
e. Street name signs and traffic control signs as may be required by Baltimore County.
f. Architectural restrictions may establish higher standards.
8. Existing Structures:
Existing structures are as shown. All structures are proposed to be removed.
9. Environmental Impacts:
Development of the site is not expected to result in a substantial increase in sound or other vibrations, dust, odor, glare, or other nuisances beyond those normally occurring within large lot, residential development.

**(see accompanying environmental impact statement).*

10. Vegetated Forest Stream Buffer:
Streams and bodies of water are as shown. The area labeled "Vegetated Forest Stream Buffer" is a combination of the approximate outer limits of wetlands and 100 year floodplains with required 25 foot streams. Now required stream buffers for first and second order Class III trout streams with steep slope adjustments are components of Vegetated Forest Stream Buffer. Disturbances within this area will be minimal. Wetlands have been delineated in the field. Final location of the vegetated forest stream buffer and its components shall be based on field survey and computation.
11. Topography:
Existing topography is based on 200 scale "Photogrammetric Map of Baltimore County Metropolitan Area, sheet NW 12E (12-1-82), 13G (4-30-81), 13F (10- revision) and 13G (4-30-81), all with April 1953 date of photography.
12. Tree Cover:
The proposed RC-5 area is partially wooded. Trees will be removed only to the extent necessary in connection with grading and construction of internal roads; grading in connection with well, underground sewage disposal areas, driveways, house pads, on site parking and other customary accessory residential uses on lots/roads.
13. Easements, Buffers, and Other Standards:
 - a. Lot Lines Bordering Tract Boundary:
 1. Tree buffer, undisturbed 25 ft.
 2. Principal building setback 50 ft.
 3. Accessory Building Setback 25 ft.
 - b. Lot Line Bordering Proposed Golf Course:
 1. Tree buffer, undisturbed 50 ft.
 2. Principal building setback 50 ft.
 3. Accessory Building Setback 50 ft.
 - c. Internal Lot Line:
 1. Tree buffer, undisturbed 25 ft.
 2. Principal buildings setback 50 ft.
 3. Accessory Building Setback 25 ft.
 - d. Street Lot Line:
 1. Build. Setback from street center line 75 ft.
 2. Tree buffer, undisturbed except for driveway or revegetated as follows: 50 ft.

Residential Planting Standards

Establish 50 stems field transplant or nursery grown canopy trees per acre of area disturbed by either road cross section, driveway or lot grading or

Establish 50 stems nursery grown canopy and subcanopy nursery grown trees per acre or

Establish indigenous tree shrub cover at 500 stems (24 in. minimum size) per acre. Acceptable shrub species are: Azalea, Kalmia, Rhododendron, Cornus, Amelanchier, Viburnum, Cytisus, Vaccinium and Ilex. Acceptable species are Lindera, Cornus, Viburnum, Cytisus, Amelanchier, Hamamelis, Ilex or other indigenous species or

Any combination of the above. Clustering of the above minimum quantities of material may be considered on an individual case basis as part of a comprehensive Landscape Plan.

Stream Crossing Planting Standards

Establish 100 stems field transplant or nursery grown specimen canopy and sub canopy trees per acre of area disturbed by either road cross section, driveway or lot grading. Acceptable Species are: Acer, Quercus, Ilex, Hamamelis, Viburnum, Fraxinus, Plantanus, Betula, or similar site indigenous species. In addition to the above, plant indigenous tree shrub or groundcover at 500 stems (24 in. minimum size) per acre. Acceptable species are: Arctostaphylos, Azalea, Kalmia, Rhododendron, Lindera, Cornus, Viburnum, Cytisus, Vaccinium, Aronia, Amelanchier, Ilex or indigenous herbaceous wetland species.

Disturbed Areas

All disturbed areas in all categories shall be stabilized immediately upon disturbance with either solid soil or hydroseeded turf or groundcover planting with fabric stabilized mulch.

- e. Proposed Road Crossings Over Streams:
 1. Minimized to not more than two vehicular crossings as shown on documented site plan.
 2. Disturbed areas will be replanted as set forth above. Special emphasis will be placed on ponding trees which replace lost canopy along the stream.
- f. Steep Slopes:
Other than at part of requisite road construction, all slopes 25 percent

1. The exceptional natural amenities, unique landscape for the property and adjacent golf course usage would provide the opportunity for creative current homes and a superior living environment.

Specific and general guidelines will facilitate the architectural review process by providing the criteria against which designs will be evaluated by the Architectural Review Committee (ARC). It shall be the sole interpreter of these guidelines and will add additional criteria if appropriate to preserve the natural character or integrity of the adjacent golf course usage.

These criteria and restrictions shall be enforced via covenants, deed restrictions, easements, charges and liens or by a similar legal instrument recorded as a concurrent running with the land and binding all owners.

2. Home owners shall submit the following to the ARC for prior review:

- Site Plan showing location of the following elements:
 - Significant landscaping features
 - Garage
 - Swimming pools, tennis courts and similar paved areas including walks, patios, decks and driveways
 - County approved septic system location
 - Well
 - Proposed limits of clearing, including plan minimizing tree removal
 - Any fences or other improvement requiring specific ARC review and approval
- Floor Plan
- Architectural elevations, details and building materials

3. All dwellings shall be designed to the fullest extent possible to blend into the natural surroundings of each lot. The following items are specifically prohibited from use:

- Aluminun, plywood and vinyl siding
- Storage of boats and recreational vehicles not contained within approved garage
- Exposed concrete block

4. The following structures and or site improvements shall be subject to specific ARC review and prior approval:

- Fence structures except for pool area fencing required to meet code
- Pet habitat structures (dog houses and pens)
- Roof-mounted antennas
- Reception satellites (roof or ground mounted)
- Garages not attached to patio structures

5. In addition to applicable zoning restrictions, maximum and minimum criteria of uniform application shall be established by the Garrison Forest Developer (subject to later modification by the ARC) for the following elements:

- Building footprint
- Building height
- Garage size
- Combined pavement including driveways, walks, patios and decks

6. No more than 25 percent of existing tree coverage may be removed from any lot, exclusive of steep slopes and buffers.


Appendix 21, 1989- prepared by DeB-McCune-Walker, Inc. for Garrison Forest Golf Course - 8/20/74 B.

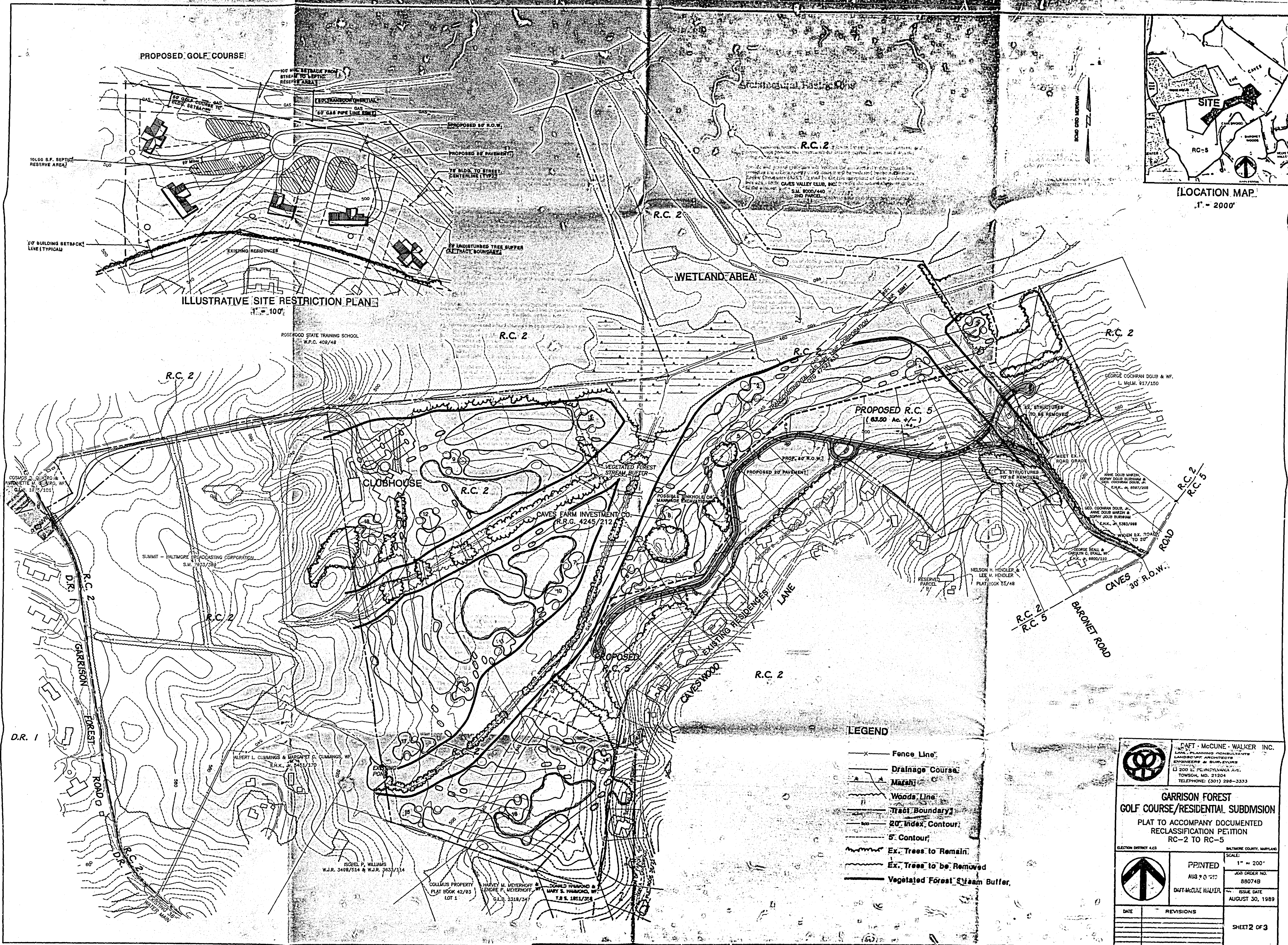
In addition to the acreage that is a subject of the Petition, Petitioner owns approximately 216.2 acres of adjoining property ("Additional Land"), which Additional Land is described on sheet 1 and 2 of this Plat. This Documented Site Plan Redesignation is subject to the following additional requirements:

1. The Additional Land shall receive Special Exception approval by Baltimore County for use as a golf course.
2. The Additional Land shall be subjected to a perpetual conservation easement, which easement need not be exclusive.
3. Any additional dwelling units permitted on the Additional Land owned by Petitioners as of August 31, 1999 and all part of this Redesignation Petition are submitted in this Request and there shall be no further residential development on the Additional Land.

If the above requirements have not been satisfied within three (3) years following approval of this Petition, then this Redesignation or the property pursuant to this Petition shall revert to the previous classification. Petitioners further acknowledge that the Zoning Redesignation program of Baltimore County shall not become effective until:

- (a) the golf course has been approved by the Planning and Zoning Commission;
- (b) the Office of Planning and Zoning has approved the petition to above shall have been approved; (b) the Office of Planning and Zoning has received a commitment for construction of the golf course, which shall include a construction budget for construction of the golf course and assurances that there are sufficient financial resources to construct the course substantially in accordance with the concept shown on Sheet 2; and (c) the Office of Planning and Zoning, in the good faith exercise of reasonable judgement, shall have approved the items submitted pursuant to (b).

	DAFT • McCUNE • WALKER INC. LAND PLANNING CONSULTANTS LANDSCAPE ARCHITECTS ENGINEERS & SURVEYORS <input type="checkbox"/> 203 E. PENNSYLVANIA AVE. TOWSON, MD. 21204 TELEPHONE: (301) 296-3333	
	<p align="center"> GARRISON FOREST GOLF COURSE/RESIDENTIAL SUBDIVISION PLAT TO ACCOMPANY DOCUMENTED RECLASSIFICATION PETITION RC-2 TO RC-5 </p>	
ELECTION DISTRICT 4.C3		BALTIMORE COUNTY, MARYLAND
<div> <div>DATE</div> <div>REVISIONS</div> </div>	PRINTED AUG 30 '93 DAFT • McCUNE • WALKER, INC.	SCALE: 1" = 200' JOB ORDER NO. 88074-3 ISSUE DATE AUGUST 30, 1989
		SHEET 3 OF 3



General Notes

1. Existing Zoning: RC-2
2. Requested Zoning: RC-5
3. Site Area:
RC-5 request: 63.5 acres
Total Property: 200.28 acres
4. Maximum number of principal residential lots to be removed shall be 22 as permitted by this RC-5 documented site plan (see general notes).
5. Existing Use:
Site is undeveloped and is in woodlands or agricultural usage.
6. Proposed Principal Uses:
a. Single family detached dwellings with customary and usual accessory structures and appurtenances subject to restrictions stated on documents of site plan.
b. Residential activity will occur on a 24 hour basis.
7. Signs:
In accordance with provisions of Section 413.1, Baltimore County Zoning Regulations, signs shall be limited to:
a. Name and address of resident, not to exceed one square foot in area (Section 413.1a).
b. Directional and informational signs not exceeding 15 or 25 square feet each in total area and involving no advertising aspect (Sections 413.1c and 413.1e(3)).
c. Temporary real estate signs (Sections 413.1f).
d. Building contractor's and professional person's temporary signs on buildings under construction. The total area for all such signs on each lot shall be limited to 150 square feet (Section 413.1g).
e. Street name signs and traffic control signs as may be required by Baltimore County.
f. Architectural restrictions may establish higher standards.
8. Existing Structures:
Existing structures are as shown. All structures are proposed to be removed.
9. Environmental Impacts:
Development of the site is not expected to result in a substantial increase in sound or other vibrations, dust, odor, gases, light and heat emanations beyond those normally occurring within large lot, residential development.
(An accompanying environmental impact statement).
10. Vegetated Forest Stream Buffer:
Streams and bodies of water are as shown. The area labeled "Vegetated Forest Stream Buffer" is a combination of the approximate outer limits of wetlands and 100 year floodplains with required 25 foot buffers. New required stream buffers for first and second order Class III trout streams with steep slope adjustments are also a component of Vegetated Forest Stream Buffer. Disturbances within this area will be minimal. Wetlands have been delineated in the field. Final location of the vegetated forest stream buffer and its components shall be based on field survey and computation.
11. Topography:
Existing topography is based on 200 scale "Photogrammetric Map of Baltimore County Metropolitan Area", sheets NW 12P (2-1-42), 12G (4-30-61), 12P (no revision) and 12G (4-30-61), all with April 1963 date of photography.
12. Tree Cover:
The proposed RC-5 area is partially wooded. Trees will be removed only to the extent necessary in connection with grading and construction of internal roads, grading in connection with well, underground sewage disposal areas, driveways, house pads, on site parking and other customary accessory residential uses on individual lots.
13. Setbacks, Buffers, and Other Standards:
a. Lot Lines Bordering Tract Boundary:
1. Tree Buffer, undisturbed: 25 ft.
2. Principal building setback: 50 ft.
3. Accessory Building Setback: 25 ft.
b. Lot Line Bordering Proposed Golf Course:
1. Tree Buffer, undisturbed: 50 ft.
2. Principal Building Setback: 50 ft.
3. Accessory Building Setback: 50 ft.
c. Internal Lot Line:
1. Tree Buffer, undisturbed: 25 ft.
2. Principal building setback: 50 ft.
3. Accessory Building Setback: 25 ft.
d. Street Lot Line:
1. Build. Setback from street center line: 75 ft.
2. Tree Buffer, undisturbed except for driveway or revegetated as follows:

Residential Planting Standards

Establish 50 stems field transplant or nursery grown canopy trees per acre of area disturbed by either road cross section, driveway or lot grading or

Establish 50 stems nursery grown canopy and subcanopy nursery grown trees per acre or

Establish indigenous type shrub cover at 500 stems (24 in. minimum size) per acre. Acceptable shrub species are: *Amelanchier*, *Kalmia*, *Rhododendron*, *Cornus*, *Amelanchier*, *Viburnum*, *Clethra*, *Vaccinium* and *Ilex*. Acceptable species are *Lindera*, *Cornus*, *Viburnum*, *Clethra*, *Amelanchier*, *Hamamelis*, *Ilex* or other indigenous species or

Any combination of the above. Clustering of the above minimum quantities of material may be considered or, on individual case basis as part of a comprehensive Landscape Plan.

Stream Crossing Planting Standards

Establish 100 stems field transplant or nursery grown specimen canopy and sub canopy trees per acre of area disturbed by either road cross section, driveway or lot grading. Acceptable Species are: *Acer*, *Quercus*, *Ilex*, *Hamamelis*, *Viburnum*, *Fraxinus*, *Platanus*, *Betula*, or similar size indigenous species. In addition to the above, plant indigenous type shrub or groundcover at 500 stems (24 in. minimum size) per acre. Acceptable species are: *Arctostaphylos*, *Azalea*, *Kalmia*, *Rhododendron*, *Lindera*, *Cornus*, *Viburnum*, *Clethra*, *Vaccinium*, *Aronia*, *Amelanchier*, *Ilex* or indigenous herbaceous wetland species.

Disturbed Areas

All disturbed areas in all categories shall be stabilized immediately upon disturbance with either solid sod or hydroseeded turf or groundcover planting with fabric stabilized mulch.

Proposed Road Crossings Over Streams

1. Minimized to not more than two vehicular crossings as shown on documented site plan.
2. Disturbed areas will be replanted as set forth above. Special emphasis will be placed on providing trees which replace lost canopy along the stream.

Steep Slopes

Other than as part of requisite road construction, all slopes 25 percent

or greater within this RC-5 area and within any proposed lot shall not be used for any building purposes.

Future Actions

At each time as the proposed RC-5 zoning reclassification is reviewed and percolation tests and test wells are completed so as to finalize a lot layout, additional standards governing development on each lot and construction techniques will be established or presented as a component of the CRG plan submitted.

Septic

1. Minimum septic tank size: 10,000 l.
2. Other than proposed minimum: 20 ft.
3. System must be located at a lower elevation than residence or well.
4. Septic service area may penetrate any buffer by not more than 5,000 l.
5. If the conditions dictate no other practical solution, a septic system shall be located at a higher or equivalent elevation to highest elevation of the septic system.

Wells

1. Offset from street right-of-way: 15 ft.
2. Offset from property line or dedicated easement: 10 ft.
3. Offset from proposed residence: 30 ft.
4. Offset from any well or septic system: 100 ft.
5. Well must be located at a higher or equivalent elevation to highest elevation of the septic system.

Receptions

Subject to review and approval by the Architectural Review Committee, the following variations shall apply only to individual lots in cases where no other practical solution complying with the standards set forth above:

- a. Well locations and related clearing to be revegetated upon completion of construction.
- b. Driveways and peninsula driveways.
- c. Pedestrian and golf cart trails.
- d. A principal residential structure not more than 1,000 s.f. within a required buffer.
- e. All applicable RC-5 zoning standards must be met.

RC-5 Height and Area Standards

- a. Height shall not exceed 35 feet except as may be permitted by Section 300, Baltimore County Zoning Regulations.
- b. Minimum lot area shall not be less than one acre. Higher standards may be established.
- c. Not more than 15 percent of any lot may be covered by buildings.
- d. Standards for accessory structures shall be developed as a component of architectural restrictions. The height of any accessory structure shall not exceed 15 feet.

Architectural Review Board

An architectural review board will be established and remain in force indefinitely to regulate and enforce design criteria for structures, landscape treatment and to interpret all applicable restrictions and guidelines. This board will consist of a representative of the Developer, an Architect, a Landscape Architect and a representative of the home owner.

Parking

Not less than two off street parking spaces shall be provided for each principal dwelling. Architectural restrictions may establish higher requirements.

Utilities

The site is not served by public water or sewerage lines. It is expected that water supply and sewerage disposal for residences will be on an individual lot basis.

Lighting

All on-site lighting will be arranged to not reflect or shine upon adjacent residential premises.

Storm Drains

Runoff shall be accommodated by a storm drain system and management facilities as may be required by Baltimore County. Details to be resolved at Final Development Plan phase of the development approval process.

R.O.W.

Street rights of way and paving width are as shown. Final details and standards shall be resolved at CRG.

Zoning History

In 1988 this property was the subject of a larger Comprehensive Zoning Map request to change 293 acres from RC-2 to RC-5. The request was made on behalf of the Garrison Forest Corporation and was identified as Issue 2-270. The request was not adopted.

General Notes

The arrangement of lots, lot lines, streets and dwellings within the proposed RC-5 portions of the site is schematic and conceptual. Final lot delineation, dwelling location and other details are subject to modification based on field data, the results of percolation tests and test wells on each lot and CRG approval. All RC-5 lots shall be subject to architectural and siting restrictions set forth elsewhere in this documented plan. All proposed RC-5 lots will be located entirely within the outlines of the requested RC-5 zoning reclassification. The number of lots within the RC-5 reclassification shall not exceed 20 lots.

Historic District

This tract is in the Carver Valley National Register Historic District.

The Arrangement and Layout for the Proposed Golf Course is Schematic and Conceptual.

It is subject to modification based on field conditions, review by county agencies, approval of a plan by CRG and the granting of the requisite Special Exception.

Architectural Restrictions

The exceptional general aesthetics, unique layout for the property and adjacent golf course usage provide the opportunity for creative custom homes and a superior living environment.

Specific and general guidelines will facilitate the architectural review process by providing the criteria against which designs will be reviewed by the Architectural Review Committee (ARC). It shall be the sole interpreter of these guidelines and may add additional criteria if appropriate to preserve the natural character or integrity of the adjacent golf course usage.

These criteria and restrictions shall be enforced via covenants, deed restrictions, easements and/or by a restrictive covenant instrument recorded in a conveyance instrument.

Home owners shall submit the following to the ARC for prior review:

1. Significant landscaping features:
Garage
Swimming pool, tennis court and similar
Paved areas including walks, patios, decks and driveways
County approved sewage system location
Well
Proposed limits of clearing, including plans minimizing tree removal
Any fences or other improvements requiring specific ARC review and approval
2. Floor plan
Architectural elevations, details and building materials

3. All dwellings shall be designed to the fullest extent possible to blend into the natural surroundings of each lot. The following items are specifically prohibited from use:
Aluminum, plywood and vinyl siding
Storage of boats and recreational vehicles not contained within approved garage
Exposed concrete block

4. The following structures and/or site improvements shall be subject to specific ARC review and prior approval:
Fence structures except for pool area fencing required to meet code
Pet habitat structures (dog houses and pens)
Roof-mounted antennas
Reception satellites (roof or ground mounted)
Gasbores not attached to patio structures

5. In addition to applicable zoning restrictions, maximum and minimum criteria of uniform application shall be established by the Garrison Forest Developer (subject to later modification by the ARC) for the following elements:
Building footprint
Building height
Garage size
Combined pavement including driveways, walks, patios and decks

6. No more than 25 percent of existing tree coverage may be removed from any lot, exclusive of steep slopes and buffers.


August 21, 1989 prepared by Duff-McCune-Walker, Inc. for Garrison Forest Golf Course, 18024 B

Additional Requirements

In addition to the acreage that is a subject of the Petition, Petitioner owns approximately 226.2 acres of adjoining property ("Additional Land"), which Additional Land is described on sheets 1 and 2 of this Plan. This Documented Site Plan Reclamation is subject to the following additional requirements:

1. The Additional Land shall receive Special Exception approval by Baltimore County for use as a golf course.
2. The Additional Land shall be subjected to a perpetual conservation easement, which easement need not be exclusive.
3. Any additional dwelling units permitted on the Additional Land owned by Petitioner as of August 21, 1989 and not part of this Reclamation Petition are submitted in this Request and there shall be no further residential development on the Additional Land.

If the above requirements have not been satisfied within three (3) years following approval of this Petition, the Zoning Reclamation on the property pursuant to this Petition shall revert to the previous classification. Petitioner further acknowledges that the Zoning Reclamation pursuant to this Petition shall not become effective until:
(a) the golf course Special Exception applied for pursuant to item 1 above shall have been approved; (b) the Office of Planning and Zoning shall have received a commitment for construction of the golf course, which shall include a construction budget for construction of the golf course and assurances that there are sufficient financial resources to complete the golf course substantially in accordance with the concept shown on Sheet 2; and (c) the Office of Planning and Zoning, in the good faith exercise of reasonable judgement, shall have approved the items submitted pursuant to (b) above.

 DAFT - McCUNE - WALKER, INC. LANDSCAPE ARCHITECTS ENGINEERS & SURVEYORS 100 E. PENNSYLVANIA AVE. TOWSON, MD. 21204 TELEPHONE: (301) 286-3333		GARRISON FOREST GOLF COURSE/RESIDENTIAL SUBDIVISION PLAT TO ACCOMPANY DOCUMENTED RECLASSIFICATION PETITION RC-2 TO RC-5 ELECTION DISTRICT 4-03	
		SCALE: 1" = 200' JOB ORDER NO. 880748 ISSUE DATE AUGUST 30, 1989	
DATE	REVISIONS	SHEET 3 OF 3	

IN THE MATTER OF THE
APPLICATION OF CAVES FARM
INVESTMENT COMPANY FOR
RECLASSIFICATION FROM R.C. 2
TO R.C. 5 ZONE
NW/4 CAVES RD., 500' NE OF
BARONET RD., 4TH ELECTION
DISTRICT, 3RD COUNCILMANIC
DISTRICT

SUBPOENA

Please issue a Subpoena to the following named witness to appear before the County Board of Appeals of Baltimore County at the hearing for the above-captioned matter on Wednesday, March 14, 1990, at 10:00 a.m., in Room 301, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204, and continuing thereafter as necessary for such witness' testimony and as scheduled by the Board.

WITNESS: Donald C. Duten
ADDRESS: Department of Environmental Protection
and Resource Management
4th Floor, County Courts Bldg.
401 Bosley Avenue
Towson, Maryland 21204

Peter Max Zimmerman
Peter Max Zimmerman
Deputy People's Counsel
Room 304, County Office Bldg.
Towson, Maryland 21204
(301) 887-2188

The witness named above is hereby ordered to so appear before the County Board of Appeals. The Board requests the Sheriff to issue the summons set forth herein.

Linda M. Kuszmaul
Linda M. Kuszmaul
County Board of Appeals
of Baltimore County

Costs: \$ _____
Summoned: _____, 19
Not served: _____, 19

Sheriff of Baltimore County

HOGAN & HARTSON

11 SOUTH CALVERT STREET
BALTIMORE, MARYLAND 21202
301/558-2700
TELECOPIER: 301/558-6081
GEORGE BEALL

645 THIRTEENTH STREET, NW
WASHINGTON, DC 20004-1000
202/747-1000
450 ROCKLEDGE DRIVE
BETHESDA, MARYLAND 20814
301/453-0000
3000 GREENWOOD DRIVE
SHELTON, VIRGINIA 22081
703/940-1900

February 21, 1990

County Board of Appeals of Baltimore County
111 W. Chesapeake Avenue
Towson, Maryland 21204

RE: Petition for Zoning Reclassification
of Caves Farm Investment Company, Owner
and Garrison Forest Corporation,
Contract Purchaser Pertaining to
Approximately 63.5 Acres Located
at the West End of Caves Valley
Filed on or about August 31, 1989

Dear Gentlemen:

Please enter my appearance as attorney for George W. Kelly, 3205 Caves Road, Owings Mills, Maryland 21117, in addition to the opponents to the petition for zoning reclassification referred to in my letters of October 13, 1989, November 30, 1989, February 6, 1990 and February 9, 1990.

Very truly yours,
George Beall
George Beall

GB/cc
15558
cc: George W. Kelly, Esquire
Peter Max Zimmerman, Esquire
Charles B. Heyman, Esquire

HOGAN & HARTSON

11 SOUTH CALVERT STREET
BALTIMORE, MARYLAND 21202
301/558-2700
TELECOPIER: 301/558-6081
GEORGE BEALL

645 THIRTEENTH STREET, NW
WASHINGTON, DC 20004-1000
202/747-1000
450 ROCKLEDGE DRIVE
BETHESDA, MARYLAND 20814
301/453-0000
3000 GREENWOOD DRIVE
SHELTON, VIRGINIA 22081
703/940-1900

February 9, 1990

County Board of Appeals of Baltimore County
111 W. Chesapeake Avenue
Towson, Maryland 21204

RE: Petition for Zoning Reclassification
of Caves Farm Investment Company, Owner
and Garrison Forest Corporation,
Contract Purchaser Pertaining to
Approximately 63.5 Acres Located
at the West End of Caves Valley
Filed on or about August 31, 1989

Dear Gentlemen:

Please enter my appearance as attorney for Harvey and Ingrid Soldan, in addition to the opponents to the petition for zoning reclassification referred to in my letters of October 13, 1989, November 30, 1989 and February 6, 1990.

Very truly yours,
George Beall
George Beall

GB/cc
15558
cc: Mr. Peter Zimmerman
Charles B. Heyman, Esquire

HOGAN & HARTSON

11 SOUTH CALVERT STREET
BALTIMORE, MARYLAND 21202
301/558-2700
TELECOPIER: 301/558-6081
GEORGE BEALL

645 THIRTEENTH STREET, NW
WASHINGTON, DC 20004-1000
202/747-1000
450 ROCKLEDGE DRIVE
BETHESDA, MARYLAND 20814
301/453-0000
3000 GREENWOOD DRIVE
SHELTON, VIRGINIA 22081
703/940-1900

February 6, 1990

County Board of Appeals of Baltimore County
111 W. Chesapeake Avenue
Towson, Maryland 21204

RE: Petition for Zoning Reclassification
of Caves Farm Investment Company, Owner
and Garrison Forest Corporation,
Contract Purchaser Pertaining to
Approximately 63.5 Acres Located
at the West End of Caves Valley
Filed on or about August 31, 1989

Dear Gentlemen:

Please enter my appearance as attorney for Samuel M. Feldman and Lee and Nelson Hendler, in addition to the opponents to the petition for zoning reclassification referred to in my letters of October 13 and November 30, 1989.

Very truly yours,
George Beall
George Beall

GB/cc
15448
cc: Mr. Peter Zimmerman
Charles B. Heyman, Esquire



County Board of Appeals of Baltimore County
COUNTY OFFICE BUILDING, ROOM 315
111 W. CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204
(301) 887-3180

December 1, 1989

George Beall, Esquire
Hogan & Hartson
111 S. Calvert Street
Baltimore, Maryland 21202

Re: Case No. CR-90-171
Caves Farm Investment Company

Dear Mr. Beall:

This letter will serve to confirm receipt of your letters of appearance on behalf of numerous protestants in the above case. Please be advised that this case has been scheduled for March 14, 1990 and a copy of the Notice of Assignment will be sent to you by the Office of the zoning Commissioner. By copy of this letter I am advising them of your entry of appearance.

Sincerely,
Linda M. Kuszmaul
Linda M. Kuszmaul
Legal Secretary

cc: W. Carl Richards, Jr.
Zoning Office

October 23, 1989

NOTICE OF HEARING

Petition for Zoning Reclassification
Case Number: CR-90-171
NW/4 Caves Road, 500' NE of Baronet Road (NE of Garrison Forest Road)
4th Election District - 3rd Councilmanic
Legal Owner(s): Caves Farm Investment Company
Contract Purchaser(s): Garrison Forest Corporation

Petition to reclassify the property from an R.C. 2 to an R.C. 5 zone.

TIME: 10:00 a.m.
DATE: Wednesday, March 14, 1990
LOCATION: Room 301, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204

WILLIAM T. HACKETT, CHAIRMAN
County Board of Appeals

cc: Charles B. Heyman, Esq.
Caves Farm Investment Company
Garrison Forest Corporation
File
George Beall, Esquire
Mr. and Mrs. Robb Tyler
Mr. Mitchell Kolkin/Ms. Kathleen Pontone
Mr. and Mrs. George Doub

THIS IS TO ADVISE YOU THAT YOU WILL BE BILLED BY THE ZONING OFFICE FOR ADVERTISING AND POSTING COSTS WITH RESPECT TO THIS CASE APPROXIMATELY A WEEK BEFORE THE HEARING. THIS FEE MUST BE PAID AND THE SIGN AND POST RETURNED TO THE ZONING OFFICE ON THE DAY OF THE HEARING OR THE ORDER WILL NOT BE ISSUED.

W.T.H.

HOGAN & HARTSON

11 SOUTH CALVERT STREET
BALTIMORE, MARYLAND 21202
301/558-2700
TELECOPIER: 301/558-6081
GEORGE BEALL

645 THIRTEENTH STREET, NW
WASHINGTON, DC 20004-1000
202/747-1000
450 ROCKLEDGE DRIVE
BETHESDA, MARYLAND 20814
301/453-0000
3000 GREENWOOD DRIVE
SHELTON, VIRGINIA 22081
703/940-1900

November 30, 1989

County Board of Appeals
of Baltimore County
111 West Chesapeake Avenue
Towson, Maryland 21204

RE: Petition for Zoning Reclassification
of Caves Farm Investment Company, Owner
and Garrison Forest Corporation,
Contract Purchaser, Pertaining to
Approximately 63.5 Acres Located at the
West End of Caves Valley -- Filed on or
About August 31, 1989

Dear Ladies & Gentlemen:

Please enter my appearance as attorney for the Valleys Planning Council and the Caveswood Association, additional opponents to the petition for zoning reclassification referenced above.

Very truly yours,
George Beall
George Beall

GB/cc
13928
cc: Phyllis Friedman, Esquire
Charles B. Heyman, Esquire
George C. Doub, Jr., Esquire
Mitchell Kolkin, Esquire



County Board of Appeals of Baltimore County
COUNTY OFFICE BUILDING, ROOM 315
111 W. CHESAPEAKE AVENUE
TOWSON, MARYLAND 21204
(301) 887-3180

March 21, 1990

Charles B. Heyman, Esquire
Kaplan, Heyman, Greenberg,
Engelman & Belgrad, P.A.
Tenth Floor - Sun Life Bldg.
20 S. Charles Street
Baltimore, Maryland 21201

Re: Case No. CR-90-171
(Caves Farm Investment Company)

Dear Mr. Heyman:

Enclosed please find a copy of the Order of Dismissal issued this date by the County Board of Appeals in the subject case.

Sincerely,

Linda M. Kuszmaul
Linda M. Kuszmaul
Legal Secretary

Enclosure

cc: Caves Farm Investment Company
Garrison Forest Corporation
George Beall, Esquire
Mr. and Mrs. Robb Tyler
Mr. and Mrs. George Doub
Mr. Mitchell Kolkin/Ms. Kathleen Pontone
Mr. George W. Kelly
Mr. James Earl Kraft
People's Counsel for Baltimore County
P. David Fields
Pat Keller
J. Robert Haines
Ann M. Nastarovich
James E. Dyer
W. Carl Richards, Jr.
Docket Clerk - Zoning
Arnold Jablon, County Attorney

IN THE MATTER OF THE APPLICATION OF
CAVES FARM INVESTMENT COMPANY FOR A
ZONING RECLASSIFICATION OF PROPERTY
LOCATED ON THE NORTHWEST SIDE OF CAVES
ROAD, 500' NORTHEAST OF BARONET ROAD
(NORTHEAST OF GARRISON FOREST ROAD)
FROM R.C.2 TO R.C.5
4TH ELECTION DISTRICT
3RD COUNCILMANIC DISTRICT

BEFORE
COUNTY BOARD OF APPEALS
OF
BALTIMORE COUNTY
CASE NO. CR-90-171

ORDER OF DISMISSAL

This matter comes before the Board as a Petition for Zoning Reclassification from R.C. 2 to R.C.5 on property located on the northwest side of Caves Road, 500' northeast of Baronet Road, northeast of Garrison Forest Road in the Fourth Election District of Baltimore County.

WHEREAS, The Board of Appeals is in receipt of a letter of withdrawal of Petition filed March 9, 1990 (a copy of which is attached hereto and made a part hereof) from Charles B. Heyman, Esquire, Counsel for the Petitioner in the above-entitled case; and

WHEREAS, the said Charles B. Heyman, Esquire requests that the Petition for Zoning Reclassification filed by him be withdrawn as of March 9, 1990,

IT IS HEREBY ORDERED this 14th day of March, 1990 by the County Board of Appeals of Baltimore County that said Petition for Zoning Reclassification be and the same is hereby WITHDRAWN and DISMISSED.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY

William T. Hackett
William T. Hackett, Chairman

John A. Dineen
John A. Dineen

Michael B. Sawyer
Michael B. Sawyer

LAW OFFICES
KAPLAN, HETMAN, GREENBERG, ENGELMAN & BRIDGES, P.A.
TENTH FLOOR-SUN LIFE BUILDING
30 SOUTH CHARLES STREET
BALTIMORE, MARYLAND 21204
(301) 832-4867
TELEFAX (301) 752-0888

March 9, 1990

The Honorable William T. Hackett, Chairman
County Board of Appeals
of Baltimore County
111 West Chesapeake Avenue, Room 315
Towson, Maryland 21204

HAND DELIVERED

RE: Petition for Zoning Reclassification
Case No. CR-90-171
NW/5 Caves Road, 500' NE of Baronet Road (NE of Garrison Forest Road) 4th Election District - 3rd Councilmanic District
Legal Owner(s): Caves Farm Investment Company
Contract Purchaser(s): Garrison Forest Corporation
Petition to reclassify approximately 63.5 acres of Property from R.C. 2 to an R.C. 5 Zone

Gentlemen:

The above-entitled matter is scheduled for a hearing, beginning Wednesday, March 14, 1990, at 10:00 A.M. The undersigned, as attorney for the Petitioners hereby requests withdrawal of the Petition as presently filed.

A copy of this letter is being sent to other interested parties as set forth below, so that they will be aware of this withdrawal.

Very truly yours,

Charles B. Heyman
Charles B. Heyman

cc: Phyllis Friedman, People's Counsel
Peter Max Zimmerman, Deputy People's Counsel
Mr. David F. Fields, Director Planning & Zoning
J. Robert Haines, Zoning Commissioner
George Beall, Esquire, Hogan & Hartson
Garrison Forest Corporation
Caves Farm Corporation

VENABLE, BAETJER AND HOWARD
ATTORNEYS AT LAW
A PARTNERSHIP INCLUDING PROFESSIONAL CORPORATIONS

1800 MERCANTILE BANK & TRUST BUILDING
Baltimore, Maryland 21202-2978
(301) 844-7400
TELEX 898032
FAX 844-7400
WRITER'S DIRECT NUMBER IS 844-7540
October 18, 1989

County Board of Appeals
of Baltimore County
111 West Chesapeake Avenue
Towson, Maryland 21204

Re: Petition for Zoning Reclassification of Caves Farm Investment Company, Owner and Garrison Forest Corporation, Contract Purchaser, Pertaining to Approximately 63.5 Acres Located At The West End Of Caves Valley -- Filed On Or About August 31, 1989

Dear Ladies and Gentlemen:

Please strike the appearance of the undersigned as attorneys in the above referenced matter.

Mr. Beall, who has entered his appearance, will continue to represent Mr. and Mrs. Robb Tyler, 2702 Caves Road, Mitchell Kolkin and Kathleen Pontone, 2522 Caves Road, Mr. and Mrs. George Doub, 2700 Caves Road, all of Owings Mills, and other neighbors and community associations to be named hereafter, in opposition to the petition referred to above.

We intend to continue as parties in our individual capacity but not as attorneys in the proceedings. If possible, we would like notice of all proceedings and copies of all orders. Please mail them to the following addresses: Mitchell Kolkin, 2522 Caves Road, Owings Mills, Maryland 21117; George Doub, 2700 Caves Road, Owings Mills, Maryland 21117.

Very truly yours,

George C. Doub, Jr.
Mitchell Kolkin

GCD:dt
8852R/33
cc: Phyllis C. Friedman, Esq.
George Beall, Esq.
Charles B. Heyman, Esq.

RECEIVED
COUNTY BOARD OF APPEALS
OCT 22 1989

HOGAN & HARTSON

111 SOUTH CALVERT STREET
BALTIMORE, MARYLAND 21204
301/848-2700
TELEFAX: 301/848-2700

George Beall
DIRECT DIAL 301/848-2700

October 13, 1989

County Board of Appeals
of Baltimore County
111 West Chesapeake Avenue
Towson, Maryland 21204

RE: Petition for Zoning Reclassification of Caves Farm Investment Company, Owner and Garrison Forest Corporation, Contract Purchaser, Pertaining to Approximately 63.5 Acres Located at the West End of Caves Valley -- Filed on or About August 31, 1989

Dear Ladies & Gentlemen:

Please enter my appearance as attorney for Mr. and Mrs. Robb Tyler, 2702 Caves Road, Mitchell Kolkin and Kathleen Pontone, 2522 Caves Road, Mr. and Mrs. George Doub, 2700 Caves Road, and other neighbors and community associations to be named later, all in opposition to the petition for zoning reclassification described above.

I ask that you supply me notices of all proceedings.

Thank you for your customary courtesy.

Very truly yours,

George Beall

cc: Phyllis Friedman, Esquire
Charles B. Heyman, Esquire
George C. Doub, Jr., Esquire
Mitchell Kolkin, Esquire

RECEIVED
COUNTY BOARD OF APPEALS
OCT 16 1989

VENABLE, BAETJER AND HOWARD
ATTORNEYS AT LAW
A PARTNERSHIP INCLUDING PROFESSIONAL CORPORATIONS

1800 MERCANTILE BANK & TRUST BUILDING
Baltimore, Maryland 21202-2978
(301) 844-7400
TELEX 898032
FAX 844-7400
WRITER'S DIRECT NUMBER IS 844-7540
September 21, 1989

County Board of Appeals
of Baltimore County
111 West Chesapeake Avenue
Towson, Maryland 21204

Re: Petition for Zoning Reclassification of Caves Farm Investment Company, Owner and Garrison Forest Corporation, Contract Purchaser, Pertaining to Approximately 63.5 Acres Located At The West End Of Caves Valley -- Filed On Or About August 31, 1989

Dear Ladies and Gentlemen:

Please enter our appearances with George Beall of Hogan & Hartson as attorneys representing Mr. and Mrs. Robb Tyler, 2702 Caves Road, Mitchell Kolkin and Kathleen Pontone, 2522 Caves Road, Mr. and Mrs. George Doub, 2700 Caves Road, and other neighbors and community associations to be named hereafter, in opposition to the petition referred to above.

Please send us notices of all proceedings.

Very truly yours,

George C. Doub, Jr.
Mitchell Kolkin

GCD/ekk
cc: Phyllis Friedman, Esq.
George Beall, Esq.
Charles B. Heyman, Esq.
7043R/65

RECEIVED
COUNTY BOARD OF APPEALS
SEP 22 1989

CERTIFICATE OF PUBLICATION

Pikesville, Md., Nov 8 1989

THIS IS TO CERTIFY, that the annexed advertisement was published in the NORTHWEST STAR, a weekly newspaper published in Pikesville, Baltimore County, Maryland before the 9th day of Nov. 1989
the first publication appearing on the 9th day of Nov. 1989
the second publication appearing on the 14th day of Nov. 1989
the third publication appearing on the 19th day of Nov. 1989

THE NORTHWEST STAR

Manager

Cost of Advertisement \$400-

P.O.# 0018440

RE: PETITION FOR RECLASSIFICATION : BEFORE THE COUNTY BOARD OF APPEALS
FROM R.C. 2 TO R.C. 5 ZONE : OF BALTIMORE COUNTY
NW/5 Caves Rd., 500' NE of Baronet Rd. (NE of Garrison Forest Rd.) :
4th Election District :
3rd Councilmanic District :
CAVES FARM INVESTMENT COMPANY, : Zoning Case No. CR-90-171
Petitioner

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notices should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

Phyllis Cole Friedman
Phyllis Cole Friedman
People's Counsel for Baltimore County

Peter Max Zimmerman
Deputy People's Counsel
Room 304, County Office Building
111 W. Chesapeake Avenue
Towson, Maryland 21204
(301) 847-2188

I HEREBY CERTIFY that on this 17th day of October, 1989, a copy of the foregoing Entry of Appearance was mailed to Charles B. Heyman, Esquire, 20 S. Charles St., 10th Floor, Baltimore, MD 21201; George C. Doub, Jr., Esquire, and Mitchell Kolkin, Esquire, 1800 Mercantile Bank & Trust Bldg., 2 Hopkins Plaza, Baltimore, MD 21201-2978; and George Beall, Esquire, 111 South Calvert St., Baltimore, MD 21202.

Peter Max Zimmerman
Peter Max Zimmerman

RECEIVED
COUNTY BOARD OF APPEALS
OCT 17 1989

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY:

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY:

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plan attached hereto and made a part hereof, hereby petition (1) that the zoning status of the herein described property be reclassified, pursuant to the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property, _____

_____ of Baltimore County, from an _____ RC-2 _____ to _____ RC-5 _____ for the reasons given in the attached petition and for the reasons stated in the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property, _____

for _____

and (3) for the reasons given in the attached statement, a variance from the following sections of the zoning laws and zoning regulations of Baltimore County:

RECEIVED
COUNTY BOARD OF APPEALS
89 AUG 31 PM 2:21

Property is to be posted and advertised as prescribed by The Baltimore County Code.

I, or we, agree to pay expenses of above Re-classification, Special Exception and/or Variance, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

County: _____

Contract Purchaser: CARRISON FOREST CORPORATION
(Type or Print Name)

Legal Owner(s): CAVES FIRM INVESTMENT COMPANY
(Type or Print Name)

Signature _____ Leonard Farbman, General Partner
19 S. Charles Street, Suite 700 _____
Address _____ (Type or Print Name)
Baltimore, Maryland 21201 _____
City and State _____ Signature _____

Attorney for Petitioner: Charles B. Heyman
(Type or Print Name)
Charles B. Heyman
Signature

1100 Investment Building
Address
Phone No.
Towson, Maryland 21204
City and State

20 S. Charles Street, 10th Floor
Address
Baltimore, Maryland 21201

City and State

Attorney's Telephone No.: 539-6967-----

Name, address and phone number of legal owner, contract purchaser or representative to be contacted
Charles B. Heyman

Name
20 S. Charles Street, 10th Floor

Baltimore, Maryland 21201

Address 539-6967 Phone No.

BANC-Form 1

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY:

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition (1) that the zoning status of the herein described property be re-classified, pursuant to the Zoning Law and Regulations of Baltimore County, from an AC-5 zone to an RC-5 zone, for the reasons given in the attached statement, and to the Board of Appeals of Baltimore County, to use the herein described property, as Zoning Law and Zoning Regulations of Baltimore County.

for _____

and (3) for the reasons given in the attached statement, a variance from the following sections of the Accounting and Reporting Regulations of Bellwork County:

MAP NW 125264
2C
S. D. 3rd 44
DATE 4-15-51
300 BF
1000 X
OF D

Pink-Zoning
 8/15/96
 Anti-Guns not
 Comply with
 Sec. 2-58.1. (1)(2)
 Boards and Commission
 (Envi. on Filing Proper
 I. or w

to be posted and advertised as prescribed by The Baltimore County Code.

I, or we, agree to pay expenses of above Re-classification, Special Exception and/or Variance, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

[illegible]

RAM-EXTRA

STATEMENT OF ERROR

1. The total property owned or controlled by Petitioner is approximately 290 acres. The request is for the rezoning of approximately 63.5 acres. The remaining approximately 226.7 acres will remain RC-2.

2. The Reasoning Request is a Documented Site Plan proposal. This proposal was not presented to the County Council at the time of the last Comprehensive Reasoning, the proposal not having been definitively formulated at that time. Further, the Council cannot classify properties subject to compliance with a Documented Site Plan as the Board of Appeals is permitted to do by Section 2-58 of the County Code.

3. The RC-2 boundaries as now drawn and within which the subject Property is situate, are in error and arbitrary, since encompassed within the RC-2 zoning classification are parcels of land which, in fact, have been subdivided and developed as if RC-5 property. This development preceded the RC-2 zoning as now established.

4. Almost all of the acreage, which is the subject of the requested rezoning is on the perimeter of the total property and immediately contiguous to the property developed as if in an RC-5 subdivision. The acreage for which rezoning is sought is topographically and functionally similar to said contiguous developed property.

5. Failure to grant the requested limited rezoning and retention of the present zoning constitutes a taking without justification.

6. The requested rezoning presents a unique opportunity to permanently retain approximately 226.7 acres or 78.2% of the total property in open space. The addition of this acreage to the approximately 900 acres in the Caves Valley in open space, allows a very substantial portion of the Caves Valley floor to be retained as permanent open space.

seconds East 138.15 feet to the point of beginning; containing 63.50 acres of land, more or less.

THIS DESCRIPTION HAS BEEN PREPARED FOR ZONING PURPOSES ONLY AND IS NOT INTENDED TO BE USED FOR CONVEYANCE.

August 25, 1989
Our Job No. 88074B (L88074B.1

Our Job No. 88074B (L88074B.1

Page 4 of 4

191.11 feet), thence (6) North 34 degrees 12 minutes 57 seconds West 254.43 feet, thence (7) North 33 degrees 22 minutes 37 seconds West 177.32 feet, thence (8) North 31 degrees 47 minutes 37 seconds West 211.41 feet, thence (9) North 68 degrees 30 minutes 23 seconds East 246.94 feet, thence (10) North 68 degrees 29 minutes 43 seconds East 240.90 feet, thence (11) North 26 degrees 33 minutes 17 seconds West 1018.85 feet, thence (12) South 69 degrees 37 minutes 43 seconds East 383.73 feet, thence (13) South 21 degrees 40 minutes 35 seconds East 197.49 feet, thence (14) South 03 degrees 15 minutes 48 seconds West 217.89 feet, thence (15) South 74 degrees 54 minutes 06 seconds East 1463.01 feet, thence (16) South 49 degrees 13 minutes 19 seconds West 609.17 feet, thence (17) South 08 degrees 36 minutes 27 seconds East 442.67 feet, thence (18) South 38 degrees 32 minutes 43 seconds West 142.27 feet, thence (19) South 28 degrees 45 minutes 24 seconds West 212.17 feet, thence (20) South 75 degrees 02 minutes 55 seconds West 673.82 feet, thence (21) South 20 degrees 42 minutes 48 seconds West 237.07 feet, thence (22) South 39 degrees 17 minutes 05 seconds West 769.25 feet, thence (23) South 64 degrees 53 minutes 34 seconds East 659.45 feet, thence (24) North 07 degrees 37 minutes 09 seconds East 415.15 feet, thence (25) North 42 degrees 23 minutes 34 seconds East 445.81 feet, thence (26) North 42

Page 2 of 4

degrees 23 minutes 24 seconds East 227.06 feet, thence (27) North 36 degrees 37 minutes 43 seconds East 437.82 feet, thence (28) North 19 degrees 14 minutes 43 seconds East 137.94 feet, thence (29) North 47 degrees 49 minutes 55 seconds East 272.23 feet, thence (30) North 47 degrees 49 minutes 55 seconds East 590.99 feet, thence (31) North 61 degrees 48 minutes 23 seconds East 91.96 feet, thence (32) North 67 degrees 14 minutes 43 seconds East 41.92 feet, thence (33) South 50 degrees 42 minutes 07 seconds East 634.29 feet, thence (34) South 34 degrees 49 minutes 57 seconds East 94.10 feet, thence (35) South 51 degrees 34 minutes 17 seconds East 111.47 feet, thence (36) North 64 degrees 27 minutes 23 seconds East 165.90 feet, thence (37) North 27 degrees 39 minutes 43 seconds East 267.17 feet, thence (38) North 52 degrees 44 minutes 43 seconds East 102.10 feet, thence (39) North 83 degrees 14 minutes 43 seconds East 140.82 feet, thence (40) South 24 degrees 39 minutes 47 seconds East 211.77 feet, thence (41) North 60 degrees 33 minutes 43 seconds East 283.11 feet, thence (42) South 34 degrees 12 minutes 57 seconds East 254.80 feet, thence (43) Southeasterly by a line curving to the left with a radius of 374.05 feet for a distance of 223.92 feet (the arc of said curve being subtended by a long chord bearing South 51 degrees 21 minutes 57 seconds East 220.59 feet), thence (44) South 68 degrees 39 minutes 57 seconds East 143.23 feet, and thence (45) South 64 degrees 29 minutes 57

Page 3 of 4

DAFT MOULDING WORKS INC. 200 East Pennsylvania Avenue, Toronto, Ontario M6H 1Z4 TEL 296 3333 FAX 296 6707
Land Planning & Development Consultants



Land Planning
Engineering
Landscape Architecture
Surveying
Computer Design
Graphics

No.	Description	Area	Owner	Assessor	Date
To Accompany Zoning Petition	63.50 Acre Parcel				
Northwest of Caves Road					
Northeast of Garrison Forest Road					
Section District, Baltimore County, Maryland					

Beginning for the same in the centerline of Caves Road at the end of a line measured Northeasterly 500 feet, more or less, along said centerline from its intersection with the centerline of Baronet Road, thence leaving said point of beginning and running and binding on said centerline of Caves Road, the two following courses and distances, viz: (1) North 49 degrees 57 minutes 43 seconds East 48.78 feet, and thence (2) North 34 degrees 32 minutes 43 seconds East 5.68 feet, thence leaving said centerline of Caves Road and running the 43 following courses and distances, viz: (3) North 64 degrees 29 minutes 57 seconds West 160.99 feet, thence (4) North 68 degrees 30 minutes 57 seconds West 144.98 feet, thence (5) Northwestealy by a line curving to the right with a radius of 324.05 feet for a distance of 193.99 feet (the arc of said curve being subtended by a long chord bearing North 51 degrees 21 minutes 57 seconds West

Page 1 of 4

DAFT · McCUNE · WALKER INC.
LAND PLANNING CONSULTANTS
LANDSCAPE ARCHITECTS
ENGINEERS & SURVEYORS
☐ 200 E. PENNSYLVANIA AVE.
TOWSON, MD. 21204
TEL: 410/566-1100 FAX: 410/566-2337

CR-90-171 Item 2, Cycle II **PETITION FOR ZONING RE-CLASSIFICATION SPECIAL EXCEPTION AND/OR VARIANCE**

TO THE COUNTY BOARD OF APPEALS OF BALTIMORE COUNTY:
 I, the undersigned, legal owner(s) of the property situated in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition (1) that the zoning status of the herein described property be re-classified, pursuant to the Zoning Law of Baltimore County, from an RC-2 zone to an RC-5 zone, for the reasons given in the attached statement, and (2) for a Special Exception and/or Variance from the Zoning Law and Zoning Regulations of Baltimore County, to use the herein described property for _____.

and (3) for the reasons given in the attached statement, a variance from the following sections of the Zoning Law and Zoning Regulations of Baltimore County:

Property is to be posted and advertised as prescribed by The Baltimore County Code.
 I, or we, agree to pay expenses of above Re-classification, Special Exception and/or Variance, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

Contract Purchaser: **GARRISON FOREST CORPORATION**
 (Type or Print Name)
 Signature _____
 19 S. Charles Street, Suite 700
 Baltimore, Maryland 21201
 City and State

Legal Owner(s): **CAVES FARM INVESTMENT COMPANY**
 (Type or Print Name)
 By: *Leonard Farman*
 Signature _____
 Leonard Farman, General Partner
 (Type or Print Name)
 Signature _____

Attorney for Petitioner: **Charles B. Heyman**
 (Type or Print Name)
 Signature *Charles B. Heyman*
 20 S. Charles Street, 10th Floor
 Baltimore, Maryland 21201
 City and State
 Attorney's Telephone No.: 539-6967

Name, address and phone number of legal owner, contract purchaser or representative to be contacted:
Charles B. Heyman
 Name
 20 S. Charles Street, 10th Floor
 Baltimore, Maryland 21201
 Address
 539-6967
 Phone No.

seconds East 138.15 feet to the point of beginning; containing 63.50 acres of land, more or less.
 THIS DESCRIPTION HAS BEEN PREPARED FOR ZONING PURPOSES ONLY AND IS NOT INTENDED TO BE USED FOR CONVEYANCE.
 August 25, 1989
 Our Job No. 880748 (L880748.1)



DAFT MCQUEEN & ASSOCIATES, INC. 300 East Pennsylvania Avenue, Towson, Maryland 21204 301 296 3335 FAX 301 296 4075
 Land Planning & Development Consultants

CR-90-171

Description
 To Accompany Zoning Petition
 63.50 Acre Parcel
 Northwest of Caves Road
 Northeast of Garrison Forest Road
 Fourth Election District, Baltimore County, Maryland

Beginning for the same in the centerline of Caves Road at the end of a line measured Northeasterly 500 feet, more or less, along said centerline from its intersection with the centerline of Baronet Road, thence leaving said point of beginning and running and binding on said centerline of Caves Road, the two following courses and distances, viz: (1) North 49 degrees 57 minutes 43 seconds East 48.78 feet, and thence (2) North 34 degrees 32 minutes 43 seconds East 5.68 feet, thence leaving said centerline of Caves Road and running the 43 following courses and distances, viz: (3) North 64 degrees 29 minutes 57 seconds West 160.99 feet, thence (4) North 68 degrees 30 minutes 57 seconds West 144.98 feet, thence (5) Northwesterly by a line curving to the right with a radius of 324.05 feet for a distance of 193.99 feet (the arc of said curve being subtended by a long chord bearing North 51 degrees 21 minutes 57 seconds West

Page 1 of 4

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Page 2 of 4

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Page 3 of 4

LAW OFFICES
 KAPLAN, HEYMAN, GREENBERG, ENGELMAN & BELOVAD, P.A.
 TENTH FLOOR SUN LIFE BUILDING
 20 SOUTH CHARLES STREET
 BALTIMORE, MARYLAND 21201

(301) 539-6967
 TELEPHONE
 (301) 788-0485

March 20, 1990

Ms. C. Stevens
 Zoning Office, Room 113
 County Office Building
 111 W. Chesapeake Avenue
 Towson, Maryland 21204

RE: Petition for Zoning Re-classification
 Case No.: CR-90-171

Dear Ms. Stevens:

Enclosed please find check in the amount of \$703.77, payable to Baltimore County, Maryland as advertising and posting fee in the above matter.

Please send a receipt to the undersigned.

Sincerely,

Charles B. Heyman
 Charles B. Heyman

CBH:rb

Enclosure

RECEIVED
 MAR 21 1990
 ZONING OFFICE

Baltimore County
 Zoning Commissioner
 Office of Planning & Zoning
 Towson, Maryland 21204
 (301) 887-3353
 J. Robert Haines
 Zoning Commissioner

March 16, 1990

Garrison Forest Corporation
 19 S. Charles Street
 Baltimore, Maryland 21201

AND
 Caves Farm Investment Company
 1100 Investment Building
 Towson, Maryland 21204

ATTN: LEONARD FARMAN

AND
 Charles B. Heyman, Esq.
 20 S. Charles Street
 Baltimore, Maryland 21201

Re: Petition for Zoning Reclassification
 CASE NUMBER: CR-90-171

Gentlemen

Records indicate a balance due of \$703.77 for advertising and posting pertaining to the above referenced matter.

Please be advised that an Order of Dismissal will not be issued until these funds are paid. Further, this matter will be forwarded to the Law Office, should payment not be received within two weeks of the date of this letter.

Your anticipated cooperation, in forwarding your check to the Zoning Office, 111 W. Chesapeake Avenue, Towson, Maryland 21204. Attention: Mrs. Stevens, is appreciated.

Very truly yours,

J. Robert Haines
 J. ROBERT HAINES
 ZONING COMMISSIONER
 BALTIMORE COUNTY

JRH:gs

Baltimore County
 Zoning Commissioner
 Office of Planning & Zoning
 Towson, Maryland 21204
 (301) 887-3353
 J. Robert Haines
 Zoning Commissioner

3/2/90

Garrison Forest Corporation
 19 S. Charles Street, Suite 700
 Baltimore, Maryland 21201

Re: Petition for Zoning Re-classification
 CASE NUMBER: CR-90-171
 NW/4 Caves Road, 500' NE of Baronet Road (NE of Garrison Forest Road)
 4th Election District - 3rd Councilmanic
 Legal Owner(s): Caves Farm Investment Company
 Contract Purchaser(s): Garrison Forest Corporation
 Hearing Scheduled: MARCH 14, 1990 at 10:00 a.m.

Dear Petitioner(s):

This is to advise you that \$703.77 is due for advertising and posting of the above property. This fee must be paid before an Order is issued.

THIS FEE MUST BE PAID AND THE RECLASSIFICATION SIGN AND POST RETURNED TO THE BALTIMORE COUNTY ZONING OFFICE ON THE DAY OF THE BOARD OF APPEALS' HEARING ON THE ORDER WILL NOT BE ISSUED.

Please make your check payable to "Baltimore County, Maryland" and remit it to Ms. C. Stevens, Zoning Office, Room 113, County Office Building, 111 W. Chesapeake Avenue, Towson, Maryland 21204, before the hearing.

Very truly yours,

J. Robert Haines
 J. ROBERT HAINES
 ZONING COMMISSIONER

cc: Charles B. Heyman, Esq.
 File

[illegible]

October 23, 1989

NOTICE OF HEARING

Petition for Ending Reclassification
Case Number: CR-90-171
84 1/2 Carver Road, 500' NE of Barcott Road (NE of Garrison Forest Road
4th Election District - 3rd Councilmanic
Legal Owner(s): Carver Farm Invest. Company
Contract Purchase(s): Garrison Forest Corporation

Petition to reclassify the property from an R.C. 2 to an R.C. 5 zone.

TIME: 10:00 a.m.
DATE: Wednesday, March 14, 1990
LOCATION: Room 301, County Office Building, 111 W. Chesapeake
Avenue, Towson, Maryland 21204

WILLIAM T. MURPHY, CHAIRMAN
County Board of Appeals

cc: Charles B. Byrnes, Esq.
Carver Farm Investment Company ✓
Garrison Forest Corporation
File

THIS IS TO ADVISE YOU THAT YOU WILL BE CALLED BY THE ZONING OFFICE FOR NOTIFICATION AND POSTING CONSENT WITH RESPECT TO THIS CASE APPROXIMATELY A WEEK BEFORE THE HEARING. THIS PTC MUST BE FILED AND THE SIGN AND POST RETURNED TO THE ZONING OFFICE ON THE DAY OF THE HEARING OR THE ORDER WILL NOT BE ISSUED.

U.T.N.

CR-90-171

October 21, 1989

NOTICE OF HEARING

Petition for Zoning Reclassification
Case Number CR-90-171
10 1/2 Caves Road, 500' NE of Barcott Road (NE of Garrison Forest Road
4th Election District - 3rd Councilmanic
Legal Owner(s): Caves Farm Invest Company
Contract Purchase(s): Garrison Forest Corporation

Petition to reclassify the property from an R.C. 2 to an R.C. 5 zone.

TIME: 10:00 a.m.
DATE: Wednesday, March 14, 1990
LOCATION: Room 301, County Office Building, 111 W. Chesapeake
Avenue, Towson, Maryland 21204

WILLIAM T. BACKETT, CHAIRMAN
County Board of Appeals

cc: Charles B. Hoyman, Esq.
Caves Farm Investment Company
Garrison Forest Corporation
File


THIS IS TO ADVISE YOU THAT YOU WILL BE BILLED BY THE ZONING OFFICE FOR ADVERTISING AND POSTING COSTS WITH RESPECT TO THIS CASE APPROXIMATELY A WEEK BEFORE THE HEARING. THIS FEE MUST BE PAID AND THE SIGN AND POST RETURNED TO THE ZONING OFFICE ON THE DAY OF THE HEARING OR THE ORDER WILL NOT BE ISSUED.

W.T.H.

Item 2, Cycle II
C.R. 90-171

STATEMENT OF ERRORS

1. The total property owned or controlled by Petitioner is approximately 290 acres. The request is for the rezoning of approximately 61.5 acres. The remaining approximately 226.7 acres will remain RC-2.
2. The Rezoning Request is a Documented Site Plan proposal. This proposal was not presented to the County Council at the time of the last Comprehensive Rezoning, the proposal not having been definitively formulated at that time. Further, the Council cannot classify properties subject to compliance with a Documented Site Plan as the Board of Appeals is permitted to do by Section 2-58 of the County Code.
3. The RC-2 boundaries as now drawn and within which the subject Property is situated, are in error and arbitrary, since encompassed within the RC-2 zoning classification are parcels of land which, in fact, have been subdivided and developed as if RC-5 property. This development preceded the RC-2 zoning as now established.
4. Almost all of the acreage, which is the subject of the requested rezoning is on the perimeter of the total property and immediately contiguous to the property developed as if in an RC-5 subdivision. The acreage for which rezoning is sought is topographically and functionally similar to said contiguous developed property.
5. Failure to grant the requested limited rezoning and retention of the present zoning constitutes a taking without justification.
6. The requested rezoning presents a unique opportunity to permanently retain approximately 226.7 acres or 78.2% of the total property in open space. The addition of this acreage to the approximately 900 acres in the Caves Valley in open space, allows a very substantial portion of the Caves Valley floor to be retained as permanent open space.



Baltimore County
Zoning Commissioner
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

Account: R-001410
Number
N2 1840

receipt

Date

3/21/90

PUBLIC HEARING

CR-90-171

Heaven closed this file today. Please put this in CR-90-171. Thank you.

CITY

PRIME

BINS 1 X

\$703.77

TOTAL: \$703.77

LAST NAME OF OWNER: CAVES FARM INVEST

ck # 2759


ARTHAN CONSTRUCTION CO.

375*****70377

Please make checks payable to the Baltimore County Treasurer

Cashier Validation

Baltimore County
Tolling Commissioner
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204



receipt

Account: R 001-4150
Number _____
N2 1840

Date _____

Closed this file today. Please put this in CR 90-177. Thanks Jimmie

CR-90-177

FILED IN _____
CR - POSITIVE COPY _____
CITY _____ PRICE _____
RING 1 X \$703.77
TOTAL: \$703.77

LARGE NAME OF OWNER: CAVE'S FARM INVEST.

ck # 2759
ARTHAN CONSTRUCTION CO.

8 702 *****70202 *****
Please make all checks payable to Mr. Baltimore County

Cashier Validation _____

Baltimore County
Department of Public Works
Bureau of Traffic Engineering
Courts Building, Suite 405
Towson, Maryland 21204
(301) 887-3554

October 27, 1989

Mr. William Hackett
Chairman, Board of Appeals
County Office Building
Towson, Maryland 21204

Dennis F. Rasmussen
County Executive

Zoning Reclassification Cycle II

Property Owner:
Case No./Hearing Date:
Contract Purchaser:
Location:

Oct. 1989 - April 1990

Caves Farm Investment Co.
CR-90-171, March 14, 1990
Garrison Forest Corp.
NW/4 Caves Road, 500' NE of
Baronet Road
R.C. 2
4th
3rd
63.50
R.C. 5

Existing Zoning:
Election District:
Councilmanic District:
Acres:
Proposed Zoning:

Dear Mr. Hackett:

The requested zoning change from R.C. 2 to R.C. 5 is not expected to cause a major increase in traffic generation.

Very truly yours,

Michael S. Flanigan
Traffic Engineer Associate II

MSF/lw

MICROFILMED

RECEIVED
OCT 31 1989

ZONING OFFICE

Baltimore County
Fire Department
800 York Road
Towson, Maryland 21204-2588
(301) 887-4500
Paul H. Retzke
Chief

OCTOBER 11, 1989

J. Robert Haines
Zoning Commissioner
Office of Planning and Zoning
Baltimore County Office Building
Towson, MD 21204

Dennis F. Rasmussen
County Executive

RE: Property Owner: CAVES FARM INVESTMENT COMPANY

Location: NE OF GARRISON FOREST ROAD

Item No.: NORTHERN SECTOR Zoning Agenda: OCTOBER, 1989-
2 APRIL, 1990
CASE NO. CR-90-171

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

5. The buildings and structures existing or proposed on the site shall comply with all applicable requirements of the National Fire Protection Association Standard No. 101 "Life Safety Code", 1988 edition prior to occupancy.

REVIEWER: [Signature] 10-17-89 Noted and Approved
Planning Group Fire Prevention Bureau
Special Inspection Division

JK/REK

MICROFILMED

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353
J. Robert Haines
Zoning Commissioner

Your petition has been received and accepted for filing this
30th day of August, 1989.

J. Robert Haines
ZONING COMMISSIONER

Received By:

[Signature]
Chairman,
Zoning Plans Advisory Committee

Petitioner: Caves Farm Investment Company, et al
Petitioner's Attorney: Charles B. Heyman

MICROFILMED

Page 2

If you have any questions concerning the enclosed comments, please feel free to contact the Zoning Office at 887-3391 or the commenting agency.

Very truly yours,

[Signature]
JAMES E. DYER
Chairman
Zoning Plans Advisory Committee

JED:jw

Enclosures

cc: Caves Farm Investment Co.
Garrison Forest Corporation
cc:

MICROFILMED

Baltimore County
Zoning Commissioner
Office of Planning & Zoning
Towson, Maryland 21204
(301) 887-3353
J. Robert Haines
Zoning Commissioner

March 6, 1990

Charles B. Heyman, Esquire
20 S. Charles Street, 10th Floor
Baltimore, MD 21201

Dennis F. Rasmussen
County Executive

RE: Item No. 2
Case No. R90-171
Petitioner: Caves Farm Investment
Company, et al
Reclassification Petition

Dear Mr. Heyman:

This reclassification petition has been timely filed with the Board of Appeals for a public hearing within the October-April reclassification cycle (Cycle V). It has been reviewed by the zoning office as to form and content and has also been reviewed by the Zoning Plans Advisory Committee. The review and enclosed comments from the Committee are intended to provide you and the Board of Appeals with an insight as to possible conflicts or problems that could arise from the requested reclassification or uses and improvements that may be specified as part of the request. They are not intended to indicate the appropriateness of the zoning action requested.

If it has been suggested that the petition forms, descriptions, briefs, and/or the site plans be amended so as to reflect better compliance with the zoning regulations and/or commenting agencies' standards and policies, you are requested to review these comments, make your own judgment as to their accuracy and submit the necessary amendments to this office on or before October 26, 1989. In the event that any requested amendments are not received prior to this date, the petition will be advertised as originally submitted.

In view of the fact that the submitted site plan does not indicate a proposed use at this time, the comments from this Committee are general in nature. If the request is granted and an additional hearing is required at a later date, more detailed comments will be submitted at that time.

MICROFILMED